



KENNEDALE
Planning and Zoning Commission
www.cityofkennedale.com

PLANNING & ZONING COMMISSION AGENDA
COMMISSIONERS - REGULAR MEETING | January 16, 2018
CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE
WORK SESSION - 6:00 PM | REGULAR SESSION - 7:00 PM

I. CALL TO ORDER

NOTE: Pursuant to §551.071, Texas Government Code, the Planning & Zoning Commission reserves the right to adjourn into Executive Session at any time during the Work Session or the Regular Session to discuss posted Executive Session items or to seek legal advice from the City Attorney on any item posted on the agenda.

II. WORK SESSION

- A. Discuss the appointment of a temporary chairperson for this meeting
- B. Planning & Zoning Commissioner Training
- C. Presentation and discussion of development concept for Serenity Inn by the applicant, RealSynergy Commercial Property and Development
- D. Presentation and discussion of development concept for a new residential subdivision, Kennedale Sublett Estates, on approximately 17 acres located at Kennedale Sublett Road and Wildcat Way by the applicant, Skorborg Company
- E. Discussion of items on the regular agenda

III. REGULAR SESSION

IV. ROLL CALL

V. APPOINTMENT OF TEMPORARY CHAIRPERSON

- A. Consider appointment of a temporary chairperson to preside over this meeting

VI. VISITOR/CITIZENS FORUM

At this time, any person with business before the Planning and Zoning Commission not scheduled on the Agenda may speak to the Commission, provided that an official 'Speaker's Request Form' has been completed and submitted to the Commission Secretary prior to the start of the meeting. All comments must be directed towards the Chair, rather than individual commissioners or staff. All speakers must limit their comments to the subject matter as listed on the 'Speaker's Request Form.' No formal action can be taken on these items.

VII. REPORTS/ANNOUNCEMENTS

VIII. MINUTES APPROVAL

- A. Consider approval of the minutes from the September 21, 2017 regular meeting

IX. DECISION ITEMS

- A. **Case # PZ 17-10** to consider approval of a preliminary plat for Lots 1-13, Block 1, Hudson Village Business Park requested by Harrell Mitchell located along the 6000 block of Hudson-Village Creek Road on approximately 24.58 acres tract in the Wade H. Hudson Survey A-716, Tarrant County, Texas
- B. **CASE # PZ 17-11** to consider approval of a minor change to the PD Concept Plan for the Glen of

Village Creek as it pertains to a change in the location of the subdivision perimeter wall/fence and landscaping

X. EXECUTIVE SESSION

The Planning & Zoning Commission reserves the right to convene in Executive Session(s) during this meeting pursuant to the following Sections of the Government Code of the State of Texas:

Pursuant to Sec. 551.071 (2), consultation with its Attorney: The Planning & Zoning Commission may conduct private consultations with its attorneys when the Planning & Zoning Commission seeks the advice of its attorney concerning any item on this agenda or a matter in which the duty of the attorney to the Planning & Zoning Commission under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Government Code.

XI. ADJOURNMENT

In compliance with the Americans with Disabilities Act, the City of Kennedale will provide for reasonable accommodations for persons attending City Council meetings. This building is wheelchair accessible, and parking spaces for disabled citizens are available. Requests for sign interpreter services must be made forty-eight (48) hours prior to the meetings. Please contact the City Secretary at 817.985.2104 or (TDD) 1.800.735.2989.

CERTIFICATION

I certify that a copy of the January 16, 2018, Planning and Zoning Commission agenda was posted on the City Hall bulletin board next to the main entrance of the City Hall building, 405 Municipal Drive, of the City of Kennedale, Texas, in a place convenient and readily accessible to the general public at all times and said agenda was posted at least 72 hours preceding the schedule time of said meeting, in accordance with Chapter 551 of the Texas Government Code.



Jay Narayana, AICP
Interim Planning Director



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: WORK SESSION - A.

I. Subject:

Discuss the appointment of a temporary chairperson for this meeting

II. Originated by:

III. Summary:

At this time, the Commission may discuss the appointment of a temporary chairperson to preside over tonight's meeting, as City Council has not yet made a permanent appointment.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: WORK SESSION - B.

I. Subject:

Planning & Zoning Commissioner Training

II. Originated by:

III. Summary:

James Donovan of Taylor, Olsen, Adkins, Sralla, Elam (TOASE) will present a training course to the Planning and Zoning Commission members.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: WORK SESSION - C.

I. Subject:

Presentation and discussion of development concept for Serenity Inn by the applicant, RealSynergy Commercial Property and Development

II. Originated by:

III. Summary:

Trevor Dyck, Director of Development and Leasing with RealSynergy Commercial Property and Development will provide a concept presentation to the Commission regarding Serenity Inn.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: WORK SESSION - D.

I. Subject:

Presentation and discussion of development concept for a new residential subdivision, Kennedale Sublett Estates, on approximately 17 acres located at Kennedale Sublett Road and Wildcat Way by the applicant, Skorburg Company

II. Originated by:

III. Summary:

Rich Darragh of the Skorburg Company will provide a concept presentation for a new residential subdivision, Kennedale Sublett Estates.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: WORK SESSION - E.

I. Subject:

Discussion of items on the regular agenda

II. Originated by:

III. Summary:

At this time, the Commission may choose to discuss any item on the agenda.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: APPOINTMENT OF TEMPORARY CHAIRPERSON - A.

I. Subject:

Consider appointment of a temporary chairperson to preside over this meeting

II. Originated by:

III. Summary:

At this time, the Commission may discuss and consider the appointment of a temporary chairperson to preside over tonight's meeting.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:



STAFF REPORT TO THE BOARD OF DIRECTORS

Date: January 16, 2018

Agenda Item No: MINUTES APPROVAL - A.

I. Subject:

Consider approval of the minutes from the September 21, 2017 regular meeting

II. Originated by:

III. Summary:

Please see the attached minutes for your approval.

IV. Notification:

V. Fiscal Impact Summary:

VI. Legal Impact:

VII. Recommendation:

VIII. Alternative Actions:

IX. Attachments:

1.	09.21.2017 P&Z Minutes	09.21.2017 PZ MINUTES.pdf
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KENNEDALE PLANNING & ZONING COMMISSION
MINUTES
COMMISSIONERS - REGULAR MEETING
September 21, 2017
CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE

WORK SESSION - 6:00 PM
REGULAR SESSION - 7:00 PM

I. CALL TO ORDER

There was not a quorum for the work session.

II. ROLL CALL

PLACE	COMMISSIONER	PRESENT	ABSENT
1	Stephen Brim		X
2	Harry Browne		X
3	VACANT		
4	Ernest Harvey, Chair	X	
5	Thomas Pirtle, Vice-chair		X
6	Chris Pugh		X
7	Carolyn Williamson	X	
8	Greg Adams, Alternate	X	
9	Horace Young, Alternate	X	

There was not a quorum for the work session due to Ms. Carolyn Williamson coming in 40 minutes late.

III. WORK SESSION

There was not a quorum for the work session

IV. REGULAR SESSION

V. CALL TO ORDER

Chairman Harvey called the regular session to order at 7:02 P.M.

VI. ROLL CALL

PLACE	COMMISSIONER	PRESENT	ABSENT
1	Stephen Brim		X
2	Harry Browne		X
3	VACANT		
4	Ernest Harvey, Chair	X	
5	Thomas Pirtle, Vice-chair		X
6	Chris Pugh		X
7	Carolyn Williamson	X	
8	Greg Adams, Alternate	X	
9	Horace Young, Alternate	X	

A quorum was present. Horace Young & Greg Adams were asked to serve as regular members.

Staff present: Rachel Roberts, Development Director and Alicia Santos, Board Secretary.

VII. MINUTES APPROVAL

- A. Consider approval of minutes from the July 2017 Planning & Zoning Commission meeting.

Mr. Harvey called for a motion. Ms. Williamson made a motion to approve seconded by Mr. Young. The motion was passed with all in favor with Mr. Harvey abstaining.

VIII. VISITOR/CITIZENS FORUM

No one registered to speak.

IX. REGULAR ITEMS

There were no regular items

X. REPORTS/ANNOUNCEMENTS

Ms. Roberts announced Trunk or Treat October 21, 2017 and Birding Workshop October 28, 2017. Ms. Roberts also announced her appreciation to the commissioners.

Mr. Harvey read an appreciation letter to Ms. Roberts for her work within the community and for the city. Mr. Harvey and the commissioners also presented Ms. Roberts with a gift.

XI. ADJOURNMENT

Mr. Adams made a motion to adjourn, second by Mr. Young and the motion was passed with all in favor. The regular session adjourned at 7:14 P.M.

STAFF REPORT TO THE PLANNING & ZONING COMMISSION

Date: January 12, 2018

Agenda Item No: REGULAR ITEMS (A)

I. SUBJECT

CASE # PZ 17-10 Consider approval of a Preliminary Plat for Lots 1-13 Block 1 Hudson Village Business Park requested by Harrell Mitchell located along the 6000 block of Hudson-Village Creek Road on an approximately 24.58-acre tract in the Wade H. Hudson Survey Abstract No. 716, Tarrant County, Texas. The development would create 13 commercial lots zoned C-2 (General Commercial District).

II. SUMMARY

This staff report describes the current status of the property, the requirements for approval, and the staff recommendation.

By state law, plats that comply with the city's comprehensive land use plan and with all applicable regulations for plats must be approved. Staff's assessment, provided below, is that the plat meets all requirements for approval with the following condition:

- A notarized letter of drainage acknowledgement signed by the adjoining property owner to the west in a form approved by the City Attorney.

BACKGROUND AND OVERVIEW

Request	Preliminary Plat
Applicant	Harrell Mitchell (property owner)
Location	6000 Block of Hudson-Village Creek Road (between Bloxom and Danny Drive)
Surrounding Uses	Commercial and Industrial uses to the east and residential uses to the west.
Surrounding Zoning	I Industrial zoning to the east and north; MH Manufactured Home District to the west.
Future Land Use Plan Designation	Neighborhoods/Industrial
Staff Recommendation	Approve with conditions

CURRENT STATUS OF PROPERTY

The property had a preliminary plat approved for 5 lots in 2015 which has since expired since the final plat was never approved and filed. The proposed plat adds 8 more lots and provides a connection to Bloxom Drive to the east as an additional means of ingress/egress.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject property is located as a transition between more industrial uses to the east and north and residential uses to the west. The rail line separates the property from the more auto-related uses along Kennedale Parkway. There are some reservoirs to the south of Hudson-Village Creek Road which are located outside the city limits and ETJ.

STAFF REVIEW

COMPREHENSIVE LAND USE PLAN

The Future Land Use Plan classifies this property as a **Neighborhood** character district.

The Future Land Use Plan designates this area for future Neighborhoods. However, when this property was rezoned from Manufactured Home to "C-2" General Commercial in April 2015, part of the basis for that decision was that the property just to the east is industrial (both in current use and designation in the future land use plan), and it was unlikely that a residential use would be suitable or feasible next to industrial uses. The City Council therefore approved a C-2 commercial zoning for this property, which would allow the property to serve as a buffer between the residential uses to the west and the industrial uses to the east.

Preliminary plats do not require a public hearing and are not considered by the City Council. After the Commission has reviewed the preliminary plat, the applicant will be advised of any required changes and/or additions. Upon satisfactory completion of any requirements imposed by the Commission, the applicant may proceed with the submittal of a final plat.

Staff considers the preliminary plat to be in compliance with the comprehensive land use plan.

SUMMARY

Staff recommends approval.

CITY DEVELOPMENT REQUIREMENTS

In addition to conformance to the comprehensive land use plan, plats must also comply with applicable city regulations in order to be approved.

PUBLIC WORKS / INFRASTRUCTURE REQUIREMENTS

The subdivision will meet all city standards for public infrastructure design and construction.

ZONING DISTRICT REQUIREMENTS

REQUIRED LOT SIZES.

The proposed plat meets all lot size requirements for the zoning district.

TECHNICAL REQUIREMENTS FOR PLAT DRAWINGS.

The plat drawing meets all technical requirements for plat drawings with the following condition:

- A notarized letter of drainage acknowledgement signed by the adjoining property owner to the west in a form approved by the City Attorney.

ACTION BY THE PLANNING & ZONING COMMISSION

Approval: Based on the information presented, I find that the request meets city requirements and is in compliance with the comprehensive land use plan and make a motion to approve the request for a preliminary plat.

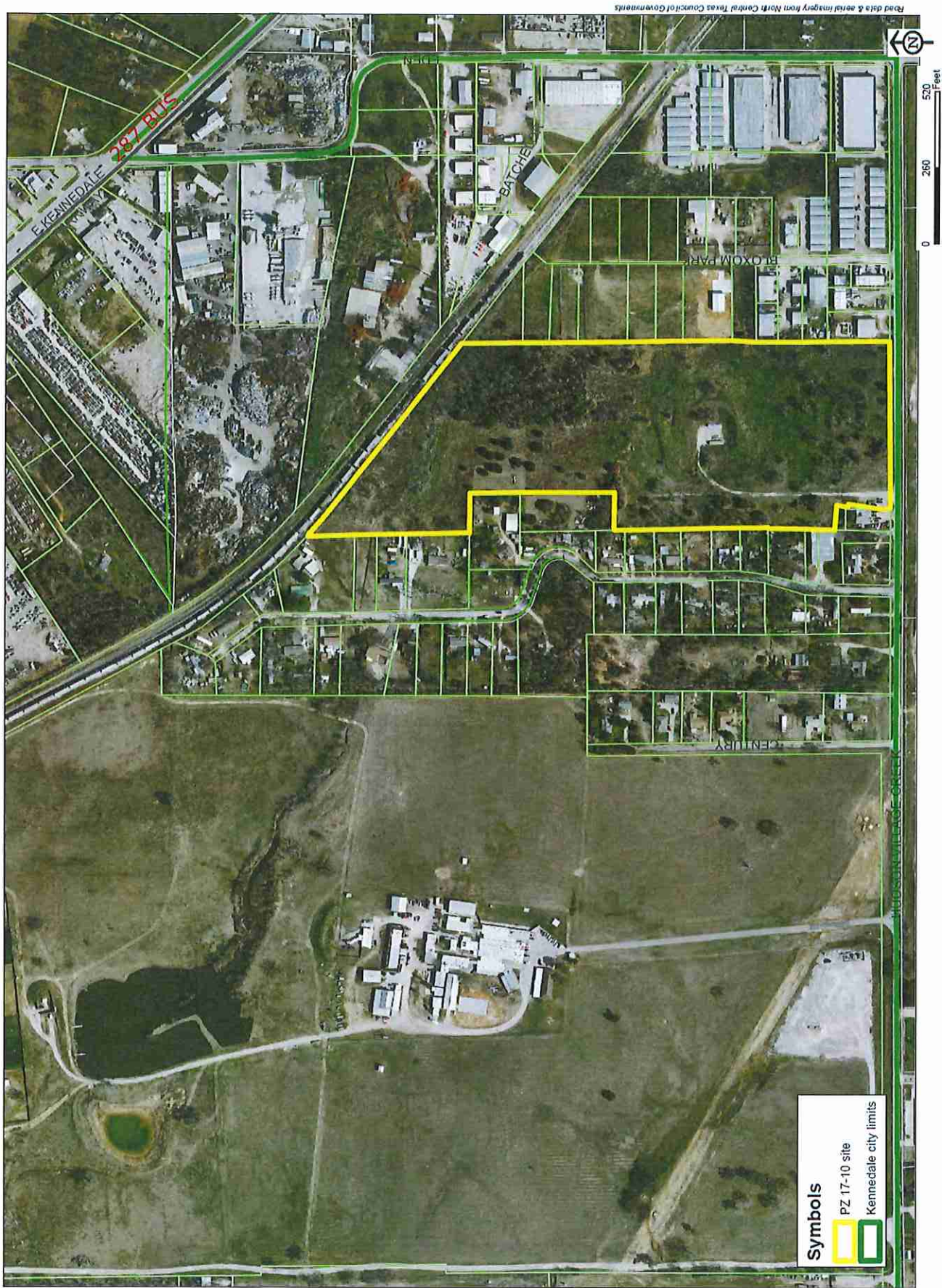
Approval with Conditions: Based on the information presented, I find that the request meets city requirements and is in compliance with the comprehensive land use plan and make a motion to approve the request for a final plat with the following conditions [list conditions].

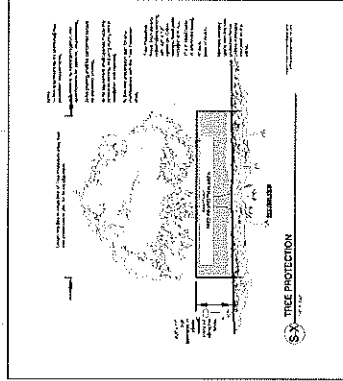
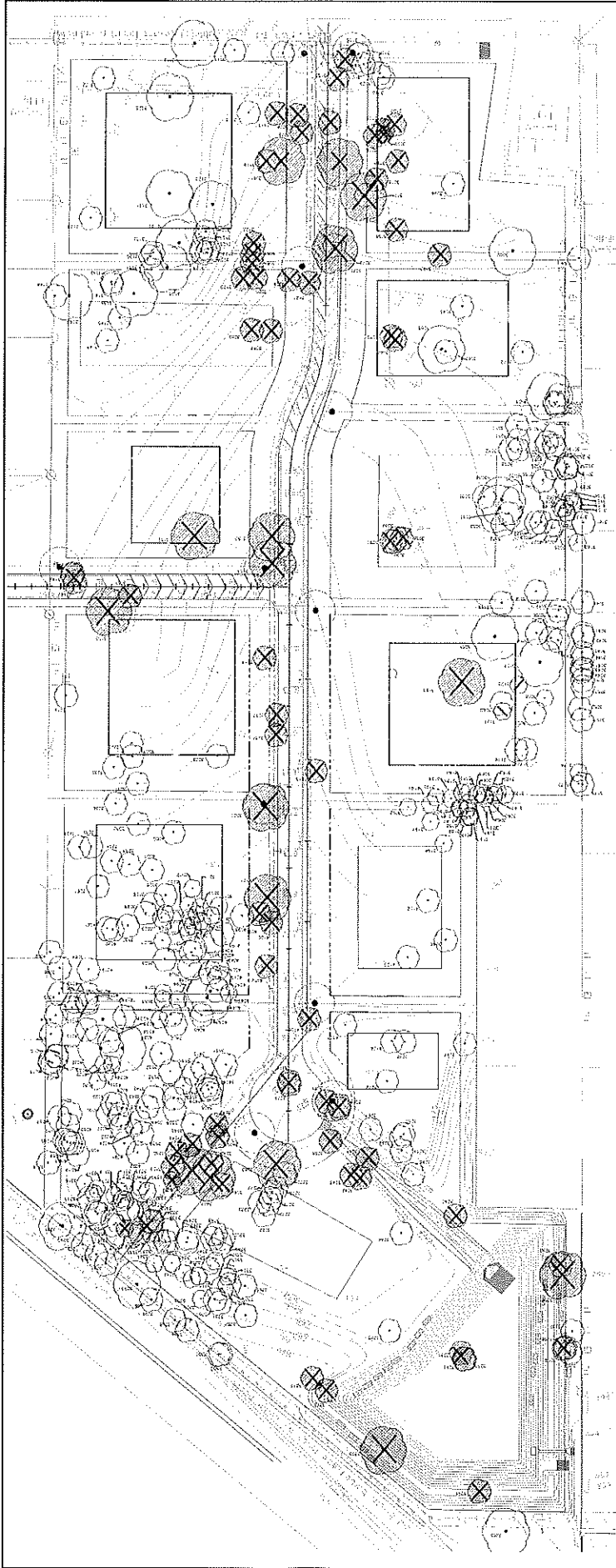
Deny: Based on the information presented, I find that the proposed plat does not meet [list standards or requirements not met] and make a motion to deny the request.

ATTACHMENTS

1. Location Map
2. Preliminary Plat Exhibit
3. Tree Survey
4. City Consulting Engineer Letter
5. Previously approved preliminary plat

PZ 17-10 Location Map





LEGEND

EXISTING	PROPOSED	DESCRIPTION
(Circle with dot)	(Circle with dot)	TREE TO REMAIN
(Circle with X)	(Circle with X)	TREE TO BE REMOVED



CP&Y, INC. DBA GARY BURTON ENGINEERING (F-1741) 1431 HWY. 153 S. TYLER, TEXAS 75703 PH: (903) 581-6864 FAX: (903) 581-6757			HUDSON VILLAGE BUSINESS PARK	TREE SURVEY	PROJECT NO. GEP-1-RS-001-01 P.E. PROJECT TECH DB CHECKED BY CLP DATE 11/06/17	PROJECT NO. 3.1 CHECKED BY CLP DATE 11/06/17
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January 11, 2018

Ms. Jayashree Narayana
City of Kennedale
405 Municipal Drive
Kennedale, Texas 76060

RE: Hudson Village Business Park Preliminary Plat Review

Dear Ms. Jayashree Narayana:

We have reviewed the preliminary plat submitted by Gary Burton Engineering a CP&Y Company for the Hudson Village Business Park development. All previous comments have been cleared, and we do not have any additional comments. However, it is the City's understanding that the owner, Mr. Harrell Mitchell, will provide a signed letter from the adjacent property owner acknowledging that their property will receive discharge from the Hudson Village Business Park development prior to final plat approval. This letter of acknowledgement will have to be approved by the City's attorney.

Please let us know if you have any further questions on this project.

Sincerely,

Jean-Marie Alexander, P.E.
Shield Engineering Group, PLLC



Shield Engineering Group, PLLC

1600 W. 7th St., Suite 200, Fort Worth, TX 76102 • office (817) 810-0696 • fax (844) 273-2180
Email: info@segpllc.com • www.shieldengineeringgroup.com



NOTES:

[illegible]

SURVEYORS CERTIFICATION

THAT I, CHARLES ROBERT MCLENNAN, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION ON THE GROUND.

STANDARD FORM NO. 646, SUPPL. 1-64

[illegible]

PRELIMINARY PLAT
VILLAGE CREEK BUSINESS PARK
An Addition to the City of Kennedale
24.58 Acres
the Wade H. Hudson Survey, Abstract
of Kennedale, Tarrant County, Texas
November 30, 2015

MCILROY ENGINEERING
304 E. Baylor St.
Greensboro, Texas 76036
TEL: (817) 534-6464
Cable MAIL: cmc-rc
BUSINESS FORM # 1048-121 ENGINEERING FIRM # 1048-121

Prepared By: _____
November 30, 2015
Cater: _____

(Apprentice) S. R. Clark,
W.H. Hudson Survey

THE PLANNING AND ZONING COMMISSION OF THE CITY OF
KENDALL, TEXAS VOTED AFFIRMATIVELY ON THIS
DAY OF _____, 2015, TO APPROVE THIS
SUPPLEMENTARY PLAT

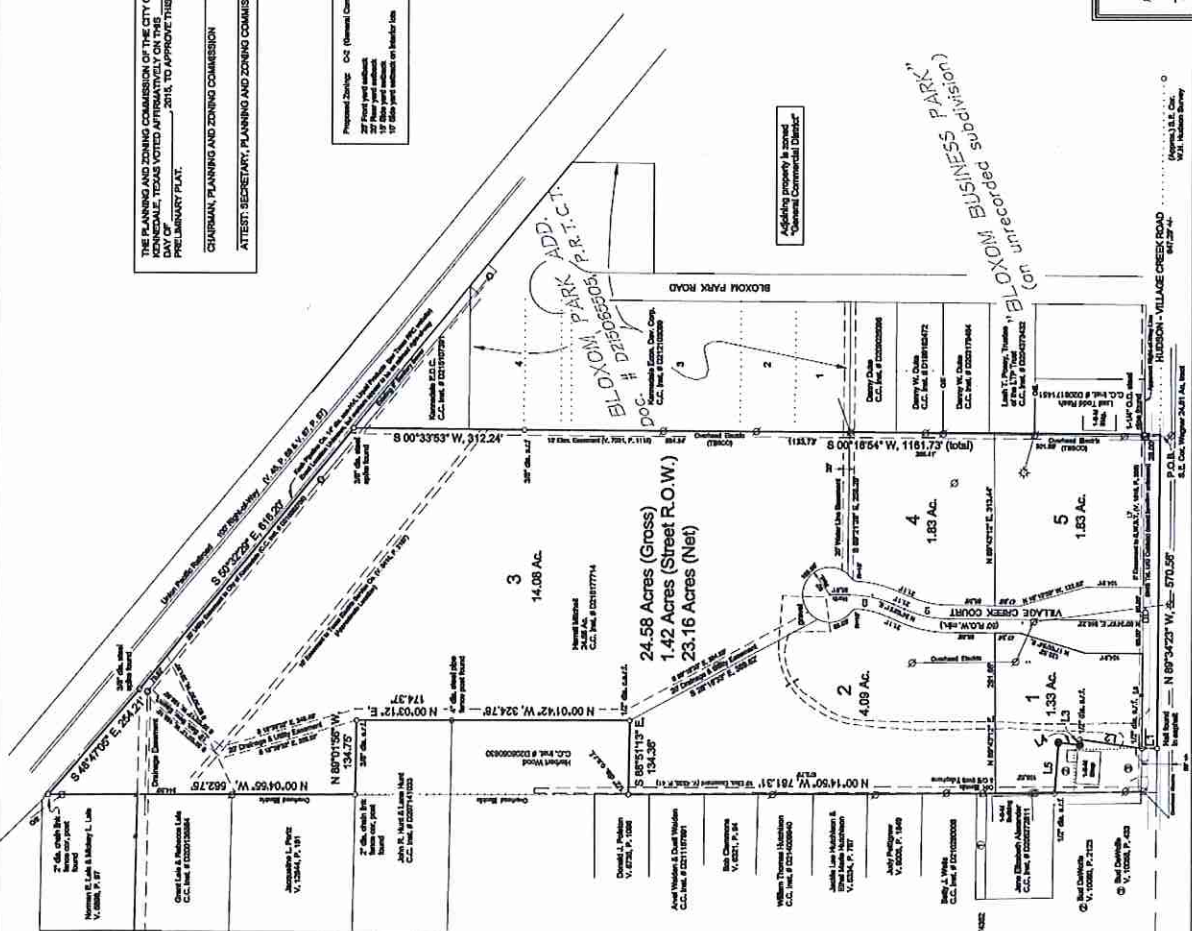
CHAIRMAN, PLANNING AND TRAINING COMMISSION

ATTEST SECRETARY OF ARMY AND ARMY COMMISSION

Proposed Zoning: C-2 (General Commercial District)

Adjacent property is zoned "General Commercial District"

LOXOM BUSINESS PARK
unrecorded subdivision)



LEGEND

- | | | | |
|--|----------------------|--|--|
| | Survey control point | | Power pole, T- pole |
| | Water meter | | Sign or marker |
| | Water valve | | One-way marker |
| | Spiral stair head | | American, telephone number |
| | Telephone cable head | | Metric, telephone number |
| | Gas valve | | Placed monument (indicated as to type) |
| | Gas meter | | 1/2" steel reinforcing bar |
| | Gas vent | | 3/4" steel reinforcing bar |
| | Electric meter | | Concrete monument found |
| | Fire hydrant | | Concrete monument set |

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C1	300.00	82.00	M 12°14'24" E, 81.50
C2	300.00	84.00	M 12°07'00" E, 83.38

LINE	BEARING	DISTANCE
L1	N 00°58'42" W	27.807
L2	N 07°08'42" E	112.857
L3	N 58°19'02" W	10.111
L4	N 08°44'48" E	38.295
L5	N 58°48'18" W	92.857
L6	N 58°28'10" E	183.137
L7	S 58°28'10" E	240.857

MOBILE HOME ESTATES
(an unrecorded subdivision)
DARKEIDGE

Adjoining property is zoned "Manufactured Home District"

OWNER/DEVELOPER:
Harold Mitchell
7070 Hudson Cemetery
Marshall, Texas 76063
Tel 817-583-6581

PLANNER:
Brad Hardy
18710 Armador Avenue
Dallas, Texas 75262
Tel: 817-578-9144

SURVEYOR:
McIlroy Engineering
504 W Baylor St.
Weatherford, Texas 76086

ENGINEER:
Gary Burton Engineering
6320 Southwest Blvd., Ste. 300
Fort Worth, Texas 76109
Tel: 817-394-6464

Tel 817-539-9067

Construction Plans for Hudson Village Business Park

RECEIVED JAN 05 REC'D

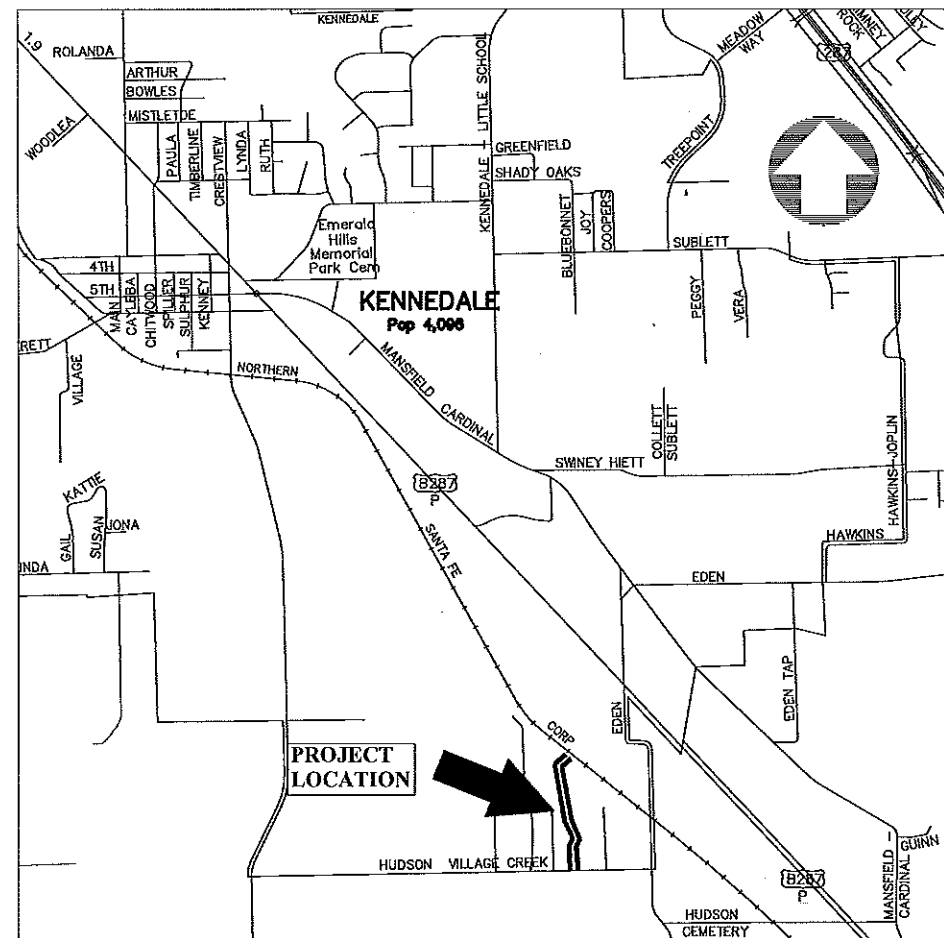
CONTACT INFORMATION

OWNER/DEVELOPER:
HARRELL MITCHELL
7070 HUDSON CEMETERY ROAD
MANSFIELD, TEXAS 76063
PHONE: 817-563-6581

SURVEYOR:
McILROY ENGINEERING
504 W. BAYLOR STREET
WEATHERFORD, TEXAS 76086
PHONE: 817-594-6464

ENGINEER:
GARY BURTON ENGINEERING, INC.
P.O. BOX 121333 FORT WORTH,
TEXAS 76121-1333
PHONE: 817-599-9067

CITY OF KENNEDALE:
KENNEDEALE CITY HALL
405 MUNICIPAL DRIVE
PHONE: 817-985-2105



LOCATION MAP
NOT TO SCALE

SHEET INDEX

1. Cover Sheet / Sheet Index / Project Location
- Preliminary Plat
2. General Notes
3. Site Plan
- 3.1 Tree Survey
- 3.2 Tree Survey Tables
4. SWPPP
5. Grading & Drainage Plan
- 5.1 Drainage Calculations
6. Storm Drain Plan & Profile, Sta. 10+00 To 12+71
7. Detention Pond Profile & Details
8. Spillway Details
9. Sanitary Sewer Plan and Profile Sta. 10+51 to 15+00
10. Sanitary Sewer Plan and Profile Sta. 15+00 to 20+00
11. Sanitary Sewer Plan and Profile Sta. 20+00 to 23+96
12. Water Plan Sta. 10+00 to 20+45
13. Water Plan Sta. 20+45 to 25+81
14. Village Creek Court Plan & Profile Sta. 10+00 to 13+00
15. Village Creek Court Plan & Profile Sta. 13+00 to 18+00
16. Village Creek Court Plan & Profile Sta. 18+00 to 23+89
- 16.1 Pavement Plan & Profile
- 16.2 Bloxom-Village Road Plan & Profile Sta. 1+00 to 3+97
17. Misc. Details-Road and Drainage
18. Misc. Details-Sanitary Sewer
19. Misc. Details-Water
20. Misc. Details-Onsite

SUBMITTED BY:

GARY BURTON ENGINEERING

Mary L. Burton
Gary L. Burton, III, P.E.

DATE

11/06/17



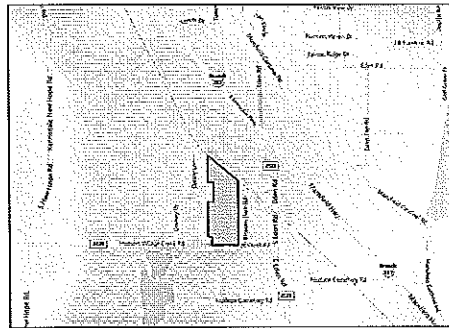
THE ELECTRONIC SEAL USED
HEREIN WAS AUTHORIZED BY
GARY L. BURTON, III, P.E. 56643

Sheet 1 of 20

HUDSON VILLAGE BUSINESS PARK

PROJECT MANAGER: GARY L. BURTON, III, P.E.
14531 SH 155 S, TYLER, TEXAS 75703
PH: 903-561-6984 FAX: 903-561-6757

CP&Y, INC.
DBA GARY BURTON ENGINEERING (F-1741)



VICINITY MAP (N.T.S.)

LEGEND	
	Survey control point
	Water meter
	Water valve
	Sprinkler head
	Telephone cable riser
	Gas valve
	Gas meter
	Gas Well
	Electric meter
	Fire hydrant
	Power pole, Tele. pole
	Sign or marker
	Guy wire anchor
	Manhole, Sanitary sewer
	Manhole, Telephone
	Found monument (labeled as to type)

"OAKRIDGE MOBIL HOME ESTATES"
(an unrecorded subdivision)

Adjoining property is zoned
"Manufactured Home District"

OWNER/DEVELOPER:
Harrell Mitchell
7070 Hudson Cemetery Road
Mansfield, Texas 76063
Tel: 817-563-6581

SURVEYOR:
McIlroy Engineering
504 W. Baylor St.
Weatherford, Texas 76088
Tel: 817-594-6464

ENGINEER:
Gary Burton Engineering, Inc.
6320 Southwest Blvd., Ste. 102
Fort Worth, Texas 76109
Tel: 817-599-9067

① Charles Morales
C.C. Inst. # D195074352

② Bud DeWolfe
V. 10080, P. 2123

③ Bud DeWolfe
V. 10058, P. 433

CURVE TABLE			
CURVE	RADIUS	LENGTH	L CHORD
C1	200.00'	82.65'	N 12°14'24" E, 81.86'
C2	200.00'	55.67'	N 16°21'45" E, 55.49' (non-tangent)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°36'06" W	27.90'
L2	N 07°58'43" E	113.67'
L3	N 88°10'02" W	10.11'
L4	N 08°44'46" E	38.35'
L5	N 86°46'54" W	92.55'
L6	S 89°35'03" E	164.13'
L7	S 89°35'03" E	273.93'
L8	N 07°58'43" E	91.47'
L9	N 07°58'43" E	22.19'
L10	N 45°28'18" E	56.57'
L11	S 44°34'42" E	56.66'
L12	N 90°00'00" E	1.63'
L13	N 24°03'51" E	21.11'

Spatial requirements for C-2 (General Commercial District)
Zoning (see Zoning Ordinance, Kennedale Unified
Development Code, for additional information and
requirements)

Lots	
Min. Area (s.f.)	5,000
Min. Width (ft.)	50
Min. Depth (ft.)	100
Max. Impervious (%)	80
Setbacks	
Min. Front (ft.)	25
Min. Side (ft.)	15
Min. Rear (ft.)	10
Min. Side and Rear Setback (ft.) when adjacent to Agricultural and Residential Districts, OT-1, OT-2 and NV and UV Transition	50
Min. Setback from other Buildings	10

THE PLANNING AND ZONING COMMISSION OF THE CITY OF
KENNEDELE, TEXAS VOTED AFFIRMATIVELY ON THIS
DAY OF _____, 20____, TO APPROVE THIS
PRELIMINARY PLAT.

CHAIRMAN, PLANNING AND ZONING COMMISSION

ATTEST: SECRETARY, PLANNING AND ZONING COMMISSION

OWNER'S CERTIFICATE
STATE OF TEXAS
COUNTY OF TARRANT

Whereas Harrell Mitchell is the owner of a 24.58 acre tract of land located in the WADE H. HUDSON SURVEY, Abstract Number 716, Tarrant County, Texas, and being the same land as is called 24.51 acre tract of land described in deed to Ike Wagner dated January 18, 2008, and recorded under County Clerk's file Number D209017824, Deed Records of Tarrant County, Texas (D.R.T.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a point in Hudson - Village Creek Road for the southeast corner of said Wagner tract of land;

THENCE North 89°34'23" West, 670.66 feet to a nail found in asphalt for the southeast corner of a tract of land described in deed to Bud DeWolfe dated October 1, 1990 and recorded in Volume 10058, Page 433, D.R.T.C.T.;

THENCE North 00°36'06" West, with the east line of said DeWolfe tract of land, 27.90 feet to a 3/4" diameter steel reinforcing bar found in the apparent north right-of-way line of Hudson - Village Creek Road;

THENCE with the east and north lines of a called 0.09 acre tract of land described in deed to Bud DeWolfe dated October 24, 1990 and recorded in Volume 10080, Page 2123, D.R.T.C.T., as follows:

North 07°58'43" East, 113.67 feet to a 3/4" diameter steel reinforcing bar found;

North 08°19'02" West, 10.11 feet to a 5/8" diameter steel reinforcing bar set;

North 08°44'46" East, 38.35 feet to a 5/8" diameter steel reinforcing bar set and

North 86°46'54" West, 92.55 feet to a 1/2" diameter steel reinforcing bar found in the east line of a tract of land described in deed to Jane Elizabeth Alexander recorded under County Clerk's file Number D205272811, D.R.T.C.T.;

THENCE North 00°14'50" West, with the common to said Wagner 24.51 acre tract and the east line of said Alexander tract of land, the east line of a called 0.077 acre tract of land described in deed to Charles Morales recorded under County Clerk's file Number D195074352, D.R.T.C.T., and the east line of "Oakridge Mobil Home Estates, W.H. Hudson Survey", an unrecorded subdivision, 781.31 feet to a 3/4" diameter capped steel reinforcing bar found for the southwest corner of a called 1.000 acre tract of land described in deed to Herbert Wood recorded under County Clerk's file Number D209050350, D.R.T.C.T.;

THENCE South 88°51'13" East, 134.36 feet to a 3/4" diameter capped steel reinforcing bar found for the southeast corner of said Herbert Wood tract of land;

THENCE North 00°14'50" West, 324.78 feet to a 4" diameter steel fence post found for the northeast corner of said Herbert Wood tract of land, said point also being the southeast corner of a tract of land described in deed to John R. Hunt and Lana Hunt recorded under County Clerk's file Number D207141033, D.R.T.C.T.

THENCE North 00°33'12" East, 174.37 feet to a 3/8" diameter steel reinforcing bar found for the northeast corner of said Hunt tract of land;

THENCE North 89°01'58" West, generally along a fence line, 134.75 feet to a 2" diameter chain link fence corner post;

THENCE North 00°04'55" West, generally along a fence line, and with the east line of tracts of land recorded in Volume 12844, Page 181, County Clerk's file Number D200133054, and Volume 5898, Page 97, D.R.T.C.T., 662.70 feet to a 2" diameter chain link fence corner post found in the apparent south right-of-way line of the Southern Pacific Railroad (100' R.O.W.);

THENCE South 48°47'05" East, along said right-of-way, 254.21 feet to a 3/8" diameter steel spike found at an angle point;

THENCE South 68°32'29" East, continuing with said right-of-way, 610.20 feet to a 3/8" diameter steel spike found for the northeast corner of said Wagner 24.51 acre tract;

THENCE South 00°33'12" West, leaving said railroad right-of-way, and with the west line of "Bloxom Business Park", an unrecorded subdivision, 312.24 feet to a 3/8" diameter steel reinforcing bar found;

THENCE South 00°18'54" West, continuing with the west line of said "Bloxom Business Park", at 1133.73 feet passing a 1-1/4" outside diameter steel pipe found in the apparent north right-of-way line of Hudson - Village Creek Road, in all a distance of 1161.73 feet to the PLACE OF BEGINNING and containing 24.58 acres of land, more or less.

Now, Therefore know all men by these presents that Harrell Mitchell does hereby certify that he is the legal owner of the above described tract of land, and does hereby adopt this plat of HUDSON VILLAGE BUSINESS PARK, an addition to the City of Kennedale, Tarrant County, Texas, and does hereby convey to the public use the streets, alleys, rights-of-way, easements and any other public areas shown on this plat.

Witness my hand this _____ day of _____, 20____.

Harrell Mitchell

State of Texas
County of Tarrant

Before me, the undersigned Notary Public, in and for said county and state, personally appeared Harrell Mitchell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity stated,

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires: _____

NOTES:

1. Bearings are based on the Texas State Plane Coordinate System, North Central Zone (NAD83), as determined by state G.P.S. performed on November 20, 2014 (McIlroy Engineering Project No. 14144) and post-processing with data from CORS "TXKX". Coordinates and distances shown have been converted to surface, unless specifically indicated otherwise.
2. The owner or contractor must contact Texas811 to have utilities located before beginning any construction.
3. According to FEMA Flood Insurance Rate Map Panel No. 48459C0340K and 48459C0455K (Effective Date September 25, 2009), this property is not located in the 100-year flood zone.
4. This property is currently Zoned "General Commercial District", the property to the west is zoned "Manufactured Home District", and the property to the east is zoned "Industrial District".
5. There is to be a 7.5' wide utility easement along the interior side of the subdivision perimeter.
6. The city will not issue a certificate of occupancy for any structures or improvements constructed on a lot until the required sidewalks have been completed by the property owner, or developer, and approved by the city. (See Zoning Ordinance, Section 15.10 Sidewalk Policy)
7. Maintenance of the detention pond shall be the responsibility of the owner of the lot on which the detention pond is situated. (See Zoning Ordinance, Section 15.12 Drainage, for additional information)

PRELIMINARY PLAT
HUDSON VILLAGE BUSINESS PARK
An Addition to the City of Kennedale
24.58 Acres

Situated in the Wade H. Hudson Survey, Abstract No. 716,
City of Kennedale, Tarrant County, Texas
November 2017

SURVEYOR'S CERTIFICATION:
THAT I, CHARLES ROBERT MCILROY, A REGISTERED PROFESSIONAL LAND
SURVEYOR LICENSED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT
IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY MADE
UNDER MY SUPERVISION ON THE GROUND.

CHARLES ROBERT MCILROY, R.P.L.S. #6130
November 13, 2017
DATE
TEL: 817-594-6464

Prepared By:
November 13, 2017
Date:



MCILROY ENGINEERING

504 W. Baylor St.
Weatherford, Texas 76088
TEL: (817) 594-6464
E-MAIL: c_mcilroy@att.net
TX SURVEYING FIRM # 10194800 TX ENGINEERING FIRM # F7877

GENERAL NOTES

Kennedale Standard Notes
General Notes

- 1. All materials and construction shall be in strict accordance with the standards of the City of Kennedale and governed by the North Central Texas Council of Government's Standard Specifications for Public Works Construction.
- 2. Texas Department of Highways and Public Transportation approval must be obtained prior to construction within State Highway right-of-way.
- 3. Street cut permit (issued by Public Works Department) is required before cutting any City street.
- 4. All water meters shall be sized and installed by City Personnel.
- 5. Fire Hydrants shall be located outside of sidewalk if walk intended.
- 6. The location of underground facilities indicated on the plans is taken from public records. It is the Contractor's responsibility to make arrangements with the owners of such underground facilities prior to working in the area to confirm their exact location and to determine whether any additional facilities other than those shown on the plans may be present. The Contractor shall preserve and protect all underground facilities.

Underground Facility Owner Telephone Number	
City of Kennedale	(817) 478-5418
Dig Tess	(800) 344-8377
Atmos Gas	(800) 460-3030
Oncor	(888) 313-6862
SouthWestern Bell	(817) 338-6206
Charter	(817) 737-9357

- 7. Where existing utilities or service lines are cut, broken or damaged, the Contractor shall replace or repair the utilities or service lines with the same type of original material and construction, or better, unless otherwise shown or noted on the plans of his own cost and expense. The Contractor shall notify the Engineer at once of any conflicts in grades and alignment.
- 8. All excavations, trenching and shoring operations shall comply with the requirements of the US Department of Labor, OSHA, "Const Safety and Health Regulations", Vol 29, Subpart P. pg 128-137, and any amendments thereto.
- 9. Adequate measures shall be taken to prevent erosion. In the event that significant erosion occurs as a result of construction, the Contractor shall restore the eroded area to original condition.
- 10. The Contractor shall restore all areas disturbed by construction to original condition or better. Restored areas include, but are not limited to trench backfill, side slopes, fences, culvert pipes, drainage ditches, driveways, private yards, and roadways. All areas disturbed by construction shall be hydro-mulched.
- 11. All water lines shall be PVC pipe conforming to AWWA standard C-900 or ductile iron pipe pressure class 150, latest revision of AWWA specification. All fittings shall be ductile iron and designed for 200 PSI pressure. Water mains to have a minimum of 42" cover to top of pipe, as measured from the top of the pipe to the existing ground, or the proposed finished grade, whichever is greater. All ductile iron pipe and fittings shall be installed with "Polywrap" for cathodic protection.
- 12. All water lines to be embedded in sand. Backfill shall be select material compacted to 95% standard proctor density.
- 13. Curb stops should be tested for leakage and full flow when system is pressure tested.



City of Kennedale
Standard Details Covering General
Notes and Utilities Projects

M-1

- 14. All water main clearance at sanitary sewer main crossings shall be a minimum separation of 2' vertical or 10' horizontal.
- 15. Contractor is advised that for all water service connections, including all new service, meter, and meter box. Water meter, in each case, shall be OWNER FURNISHED and contractor installed.
- 16. Service line pay items will include tapping of water main and necessary service line and fittings as per standard detail.
- 17. Fire hydrant assembly bid items will include the fire hydrant, the pipe extension from the tee and all necessary fittings excluding the 6" gate valve.
- 18. Any water valves located within pavement areas shall be adjusted to final grade by the paving contractor. The paving contractor shall construct a typical concrete block out per detail on sheet.
- 19. Any changes from approved construction plans shall be approved by the Water Utility Department and a change order must be obtained from the design engineer. Any deviations from the State regulations shall be approved by the Director of Public Works.
- 20. Water lines will be installed as shown on the plans. However, field adjustments approved by the inspector or engineer may be made to lessen damage to the road pavement or when other utility locations, trees, or structures warrant such an adjustment.
- 21. All sanitary gravity sewer line pipes shall be furnished and installed with PVC pipe specifications SDR-35 or SDR-26 depending on depth of cover.
- 22. Sewage force mains discharging from sewage lift stations shall be PVC pressure sewer pipe designed and manufactured to withstand the maximum anticipated lift station discharge pressures. Meter and meter box (where applicable) shall then be removed and delivered to the City's Water Department.
- 23. The contractor shall be responsible for all disinfection, chlorination and flushing requirements of the City of Kennedale. This shall include providing temporary isolation valves, plugs, injection ports, flushing valves, tools and for storage equipment necessary to complete this task.
- 24. In the event that existing utilities such as water, gas, telephone, electric, etc. must be taken out of service to facilitate construction, the contractor shall provide temporary utilities to the satisfaction of the engineer.
- 25. One lane of traffic shall be maintained at all times. All traffic control signs, barricades, and flagging shall be in accordance with the 1980 Texas Manual of Uniform Control Devices. Contractors shall be responsible for traffic control. Contractor shall maintain access to all adjacent properties at all times.
- 26. Notwithstanding references to the contrary elsewhere in the plans, all trench backfill performed within existing roadway pavements shall be accomplished from top of granular embedment to top of trench utilizing compacted (95% Standard Proctor density) crushed stone. The stone to be furnished shall conform to the prescribed gradation requirements specified in Standard Specification Item 2.1.8 and classified "Standard Crushed Rock Aggregate Grade 4."
- 27. When the proposed utilities conflict with an existing structure (culvert, mailbox, etc.) the contractor may bore across the areas in conflict, but the City shall determine the required bore length in each case.
- 28. The contractor shall field verify the depth and location of all existing utilities before beginning construction and location of all sprinkler system lines shall be located before digging. Any damage to system shall be repaired at contractor's expense.

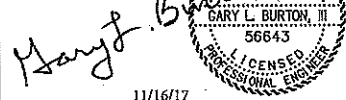
NOTE: LANDSCAPE AND GRADING PLANS TO BE COMPLETED AS EACH LOT IS DEVELOPED.

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal
herein is authorized
by Gary L. Burton, III,
P.E. 56643

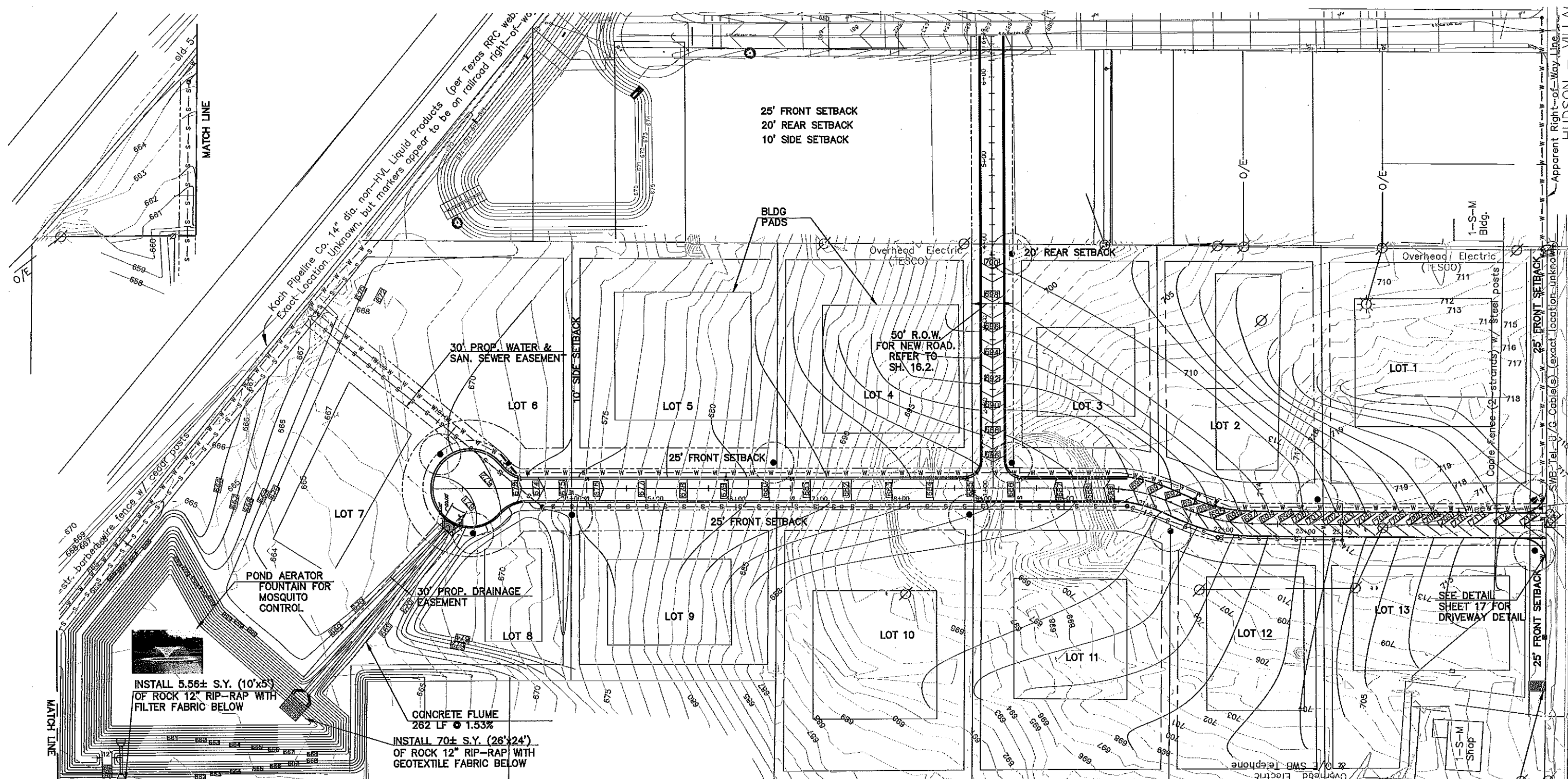


HUDSON VILLAGE
BUSINESS PARK

REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

GENERAL NOTES

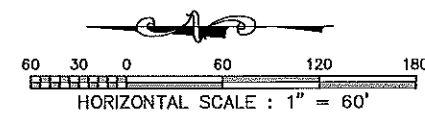
PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	2



- NOTES:**
1. LANDSCAPING AND GRADING PLANS WILL BE CREATED AND SUBMITTED BY INDIVIDUAL LOT OWNERS AS LOTS ARE DEVELOPED.
 2. TREES TO REMAIN SHALL BE PROTECTED BY TEMPORARY PROTECTIVE FENCING AND A PERMANENT DECORATIVE RETAINING WALL IF FINAL GRADE AT BASE DIFFERS BY MORE THAN 6" FROM EXISTING, IN ACCORDANCE WITH THE KENNEDALE TREE ORDINANCE.

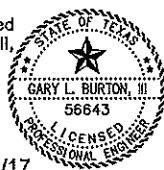
LEGEND		DESCRIPTION	
EXISTING	PROPOSED	SANITARY SEWER	
— s — s —	— s — s —	MANHOLE	MH
— w — w —	— w — w —	WATER MAIN	
— w — w —	— w — w —	FIRE HYDRANT	FH
		CONTOURS	
		TREE TO REMAIN	
		TREE TO BE REMOVED	

- 714 EXISTING ELEVATION
714 PROP. ELEVATION
TEMP. CONSTRUCTION ENTRANCE



CP&Y, INC.
DBA GARY BURTON ENGINEERING (F-1741)
14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643
11/06/17



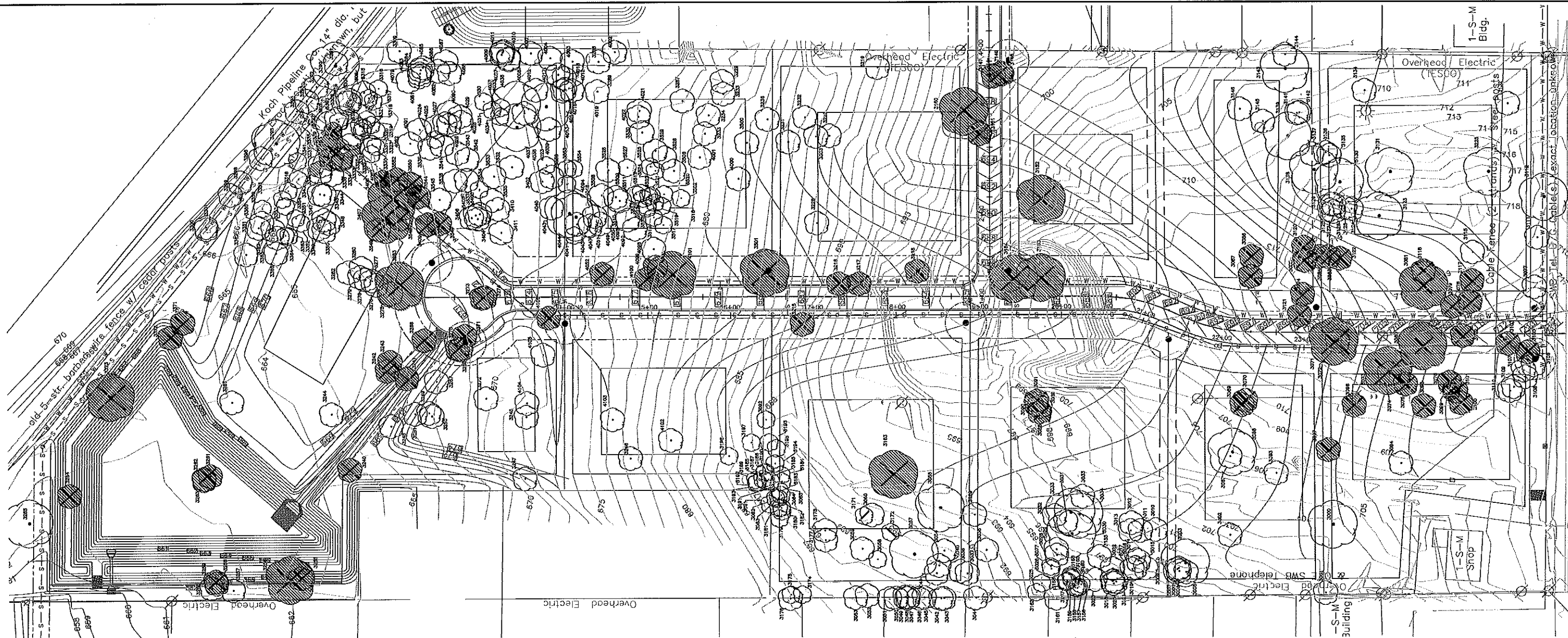
HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

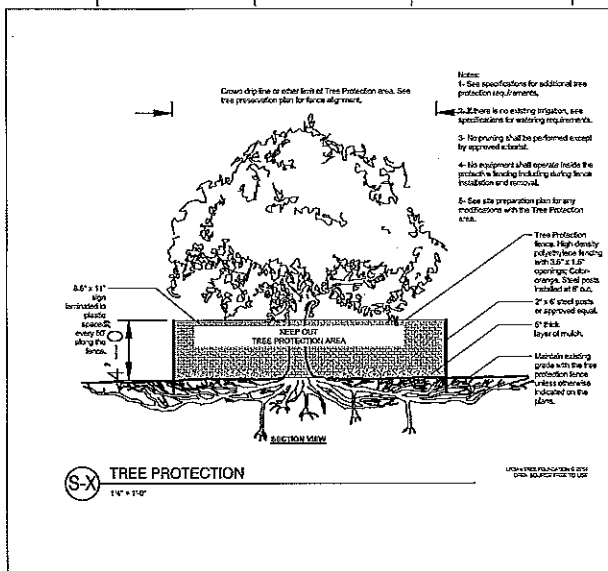
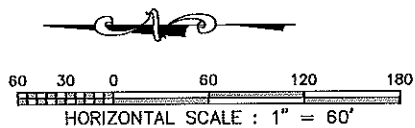
SITE PLAN

PROJECT MGR. Gary L. Burton, III P.E.	JOB NO. 048150101
PROJECT TECH SR	DWG. NO. 3
CHECKED BY GLB	
REVIEWED BY GLB	



LEGEND

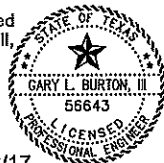
EXISTING	PROPOSED	DESCRIPTION
		TREE TO REMAIN
		TREE TO BE REMOVED



CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)
14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

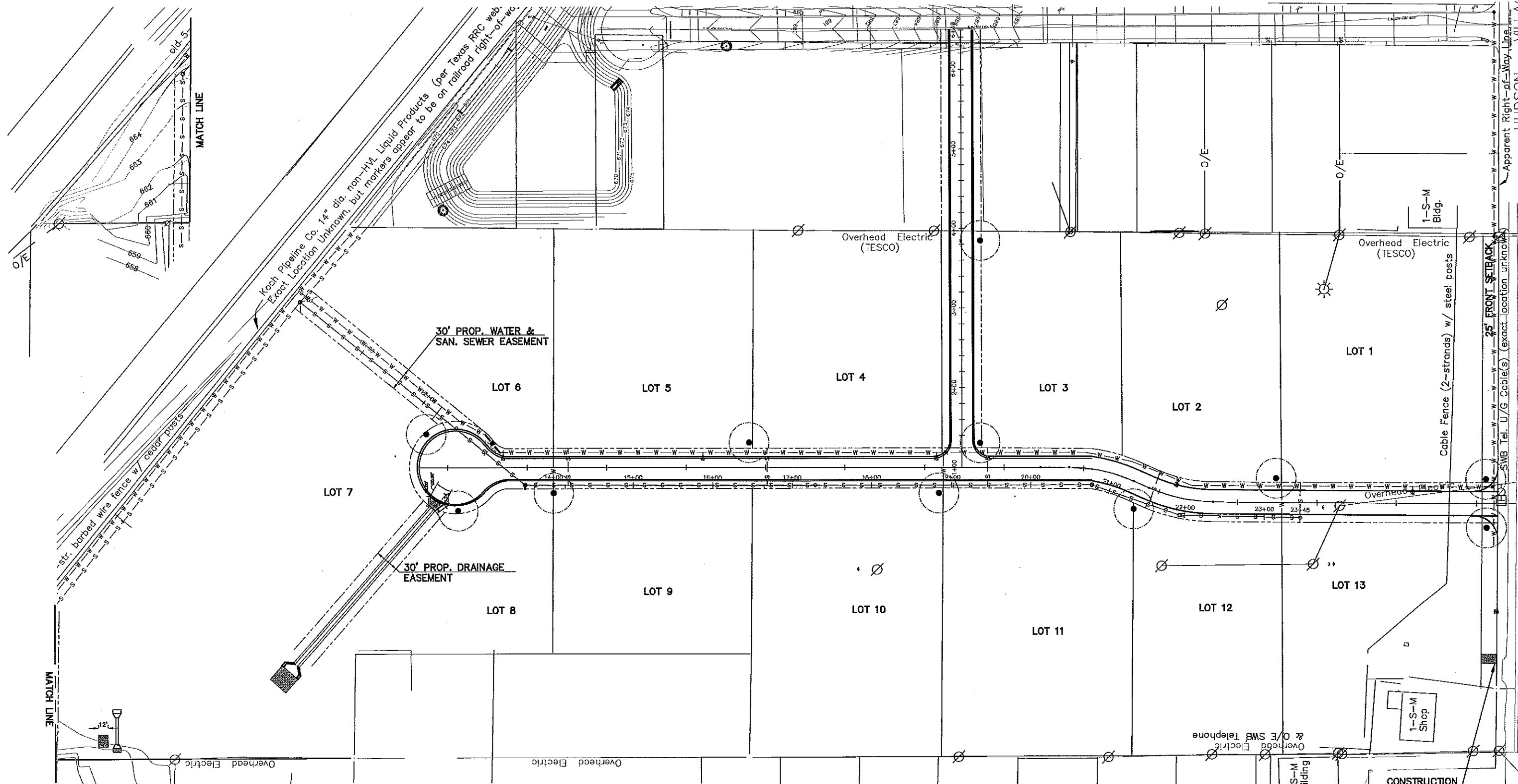
HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

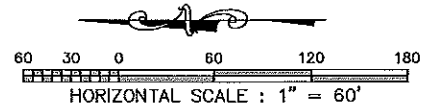
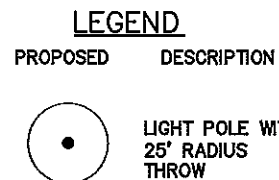
TREE SURVEY

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	3.1

Number	Description	Type	Reason	Number	Description	Type	Reason	Number	Description	Type	Reason	Number	Description	Type	Reason	Number	Description	Type	Reason
3000	30" PO	Quality	Protected	3085	18" Hackberry	To Be Removed	Prop. Pad	3175	10" Cedar	Quality	Protected	3289	Dbl 12" PO	To Be Removed	Prop. Grading for Drainage	3502	4" PO	To Be Removed	Prop. Road
3001	18" Am Elm	Marginal	Protected	3086	18" Hackberry	To Be Removed	Prop. Pad	3176	Dbl 12" Am Elm	To Be Removed	Prop. Pad	3290	Dbl 36" Am Elm	Marginal	Protected	3503	Dbl 8" Am Elm	To Be Removed	Prop. Pad
3002	12" PO	To Be Removed	Prop. Grading for Drainage	3087	16" Hackberry	To Be Removed	Prop. Pad	3178	Tpl 12" Am Elm	To Be Removed	Prop. Pad	3291	8" Hackberry	Quality	Protected	3506	12" Am Elm	To Be Removed	Prop. Pad
3003	Tpl 21" PO	To Be Removed	Prop. Grading for Drainage	3088	8" Dbl Am Elm	To Be Removed	Prop. Pad	3179	12" PO	To Be Removed	Prop. Grading for Drainage	3292	6" ERC	Quality	Protected	3508	4" Pecan	To Be Removed	Prop. Grading for Drainage
3005	14" Dbl PO	To Be Removed	Prop. Grading for Drainage	3089	8" Am Elm	To Be Removed	Prop. Pad	3180	10" BI Oak	To Be Removed	Prop. Grading for Drainage	3293	10" Hackberry	Quality	Protected	3509	4" PO	To Be Removed	Prop. Pad
3006	10" PO	To Be Removed	Prop. Grading for Drainage	3090	Tpl 18" Am Elm	To Be Removed	Prop. Pad	3181	6" PO	To Be Removed	Prop. Grading for Drainage	3294	14" PO	Quality	Protected	3510	6" PO	To Be Removed	Prop. Pad
3007	8" PO	To Be Removed	Prop. Grading for Drainage	3091	6" Ashe Juniper	To Be Removed	Prop. Pad	3182	6" PO	To Be Removed	Prop. Grading for Drainage	3295	24" Willow	--	Protected	3511	4" PO	To Be Removed	Prop. Pad
3008	6" PO	To Be Removed	Prop. Grading for Drainage	3092	18" BI Oak	To Be Removed	Prop. Grading for Drainage	3183	18" PO	To Be Removed	Prop. Grading for Drainage	3296	8" Hackberry	Quality	Protected	3512	Dbl 7" PO	To Be Removed	Prop. Pad
3009	12" Chinaberry	To Be Removed	Prop. Grading for Drainage	3093	14" Ashe Juniper	To Be Removed	Prop. Pad	3184	8" BI Oak	To Be Removed	Prop. Grading for Drainage	3298	6" Hackberry	Quality	Protected	3513	5" PO	To Be Removed	Prop. Pad
3010	Dbl 18" BI Oak	To Be Removed	Prop. Pad	3094	10" Hackberry	To Be Removed	Prop. Pad	3185	6" BI Oak	To Be Removed	Prop. Grading for Drainage	3299	6" Hackberry	Quality	Protected	3514	4" PO	To Be Removed	Prop. Pad
3011	8" BI Oak	To Be Removed	Prop. Pad	3096	8" tree	Quality		3186	6" BI Oak	To Be Removed	Prop. Grading for Drainage	3300	12" Hackberry	Quality	Protected	3515	5" PO	To Be Removed	Prop. Pad
3012	Dbl 18" BI Oak	To Be Removed	Prop. Pad	3097	10" Hackberry	To Be Removed	Prop. Grading for Drainage	3187	10" BI Oak	To Be Removed	Prop. Grading for Drainage	3301	8" Hackberry	Quality	Protected	3516	6" PO	To Be Removed	Prop. Pad
3013	12" BI Oak	To Be Removed	Prop. Pad	3098	16" Hackberry	To Be Removed	Prop. Pad	3188	Dbl 20" BI Oak	To Be Removed	Prop. Grading for Drainage	3305	Dbl 18" Am Elm	To Be Removed	Prop. Grading for Drainage	3517	24" PO	To Be Removed	Prop. Pad
3014	12" PO	To Be Removed	Prop. Grading for Drainage	3099	20" Dbl PO	To Be Removed	Prop. Pad	3189	8" BI Oak	To Be Removed	Prop. Grading for Drainage	3306	12" Am Elm	To Be Removed	Prop. Grading for Drainage	3518	10" ERC	To Be Removed	Prop. Pad
3015	6" Hackberry	To Be Removed	Prop. Grading for Drainage	3100	18" PO	To Be Removed	Prop. Pad	3190	4" BI Oak	To Be Removed	Prop. Grading for Drainage	3307	14" Pecan	To Be Removed	Prop. Grading for Drainage	3519	5" PO	To Be Removed	Prop. Pad
3016	12" Snag	To Be Removed	Prop. Grading for Drainage	3101	4" Eastern Red Cedar	To Be Removed	Prop. Pad	3191	4" PO	To Be Removed	Prop. Grading for Drainage	3308	6" Pecan	To Be Removed	Prop. Grading for Drainage	3520	4" PO	To Be Removed	Prop. Pad
3017	8" Snag	To Be Removed	Prop. Grading for Drainage	3102	14" BI Oak	To Be Removed	Prop. Road	3192	6" PO	To Be Removed	Prop. Grading for Drainage	3309	8" Hackberry	Quality	Protected	3521	4" PO	To Be Removed	Prop. Pad
3018	14" PO	To Be Removed	Prop. Grading for Drainage	3103	14" PO	To Be Removed	Prop. Road	3193	5" BI Oak	To Be Removed	Prop. Grading for Drainage	3314	14" Hackberry	To Be Removed	Prop. Grading for Drainage	3522	5" PO	To Be Removed	Prop. Pad
3019	8" dead PO	To Be Removed	Prop. Grading for Drainage	3105	12" BI Oak	To Be Removed	Prop. Road	3194	Tpl 14" PO	To Be Removed	Prop. Grading for Drainage	3315	Dbl 30" Pecan	To Be Removed	Prop. Grading for Drainage	3524	6" Red Oak	To Be Removed	Prop. Pad
3020	12" PO	To Be Removed	Prop. Grading for Drainage	3106	10" BI Oak	Quality	Protected	3195	10" BI Oak	To Be Removed	Prop. Grading for Drainage	3316	6" Am Elm	To Be Removed	Prop. Grading for Drainage	3525	5" Red Oak	To Be Removed	Prop. Pad
3021	16" Snag	To Be Removed	Prop. Grading for Drainage	3107	14" BI Oak	Quality	Protected	3196	8" PO	To Be Removed	Prop. Grading for Drainage	3317	8" Am Elm	To Be Removed	Prop. Grading for Drainage	3526	10" Am Elm	To Be Removed	Prop. Pad
3022	10" PO	To Be Removed	Prop. Grading for Drainage	3108	8" PO	Quality	Protected	3197	6" PO	To Be Removed	Prop. Pad	3318	6" Hackberry	To Be Removed	Prop. Grading for Drainage	3527	6" PO	To Be Removed	Prop. Pad
3023	Dbl 18" PO	To Be Removed	Prop. Grading for Drainage	3109	8" PO	Quality	Protected	3198	Dbl 10" Locust	To Be Removed	Prop. Pad	3319	8" Am Elm	To Be Removed	Prop. Grading for Drainage	3528	12" Am Elm	To Be Removed	Prop. Pad
3024	10" Hackberry	To Be Removed	Prop. Pad	3110	12" PO	Quality	Protected	3215	Dbl 14" crabapple	To Be Removed	Prop. Grading for Drainage	3320	Dbl 10" Am Elm	To Be Removed	Prop. Grading for Drainage	3529	18" ERC	To Be Removed	Prop. Pad
3025	8" PO	To Be Removed	Prop. Grading for Drainage	3111	12" BI Oak	To Be Removed	Prop. Grading for Drainage	3216	12" Hackberry	To Be Removed	Prop. Road	3321	6" Chinaberry	To Be Removed	Prop. Grading for Drainage	3530	12" Bois d'arc	To Be Removed	Prop. Pad
3026	6" PO	To Be Removed	Prop. Grading for Drainage	3112	22" Dbl Eastern Red Cedar	To Be Removed	Prop. Grading for Drainage	3217	14" PO	To Be Removed	Prop. Road	3322	8" Am Elm	To Be Removed	Prop. Grading for Drainage	3532	5" ERC	To Be Removed	Prop. Pad
3027	12" PO	To Be Removed	Prop. Grading for Drainage	3115	6" Ashe Juniper	To Be Removed	Prop. Pad	3218	10" PO	Quality		3323	6" Hackberry	To Be Removed	Prop. Grading for Drainage	3533	tpl 6" Am Elm	To Be Removed	Prop. Grading for Drainage
3028	8" PO	To Be Removed	Prop. Grading for Drainage	3117	8" Hackberry	To Be Removed	Prop. Pad	3219	12" PO	Quality	Protected	3324	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3534	4" ERC	To Be Removed	Prop. Grading for Drainage
3029	13" PO	To Be Removed	Prop. Grading for Drainage	3118	10" Hackberry	To Be Removed	Prop. Pad	3225	34" PO	To Be Removed	Prop. Pad	3325	8" Am Elm (dead)	To Be Removed	Prop. Grading for Drainage	3535	5" ERC	To Be Removed	Prop. Grading for Drainage
3030	Dbl 20" Chinaberry	To Be Removed	Prop. Grading for Drainage	3120	18" Hackberry	To Be Removed	Prop. Pad	3226	Tpl 16" BI Oak	To Be Removed	Prop. Pad	3327	12" Hackberry	To Be Removed	Prop. Grading for Drainage	3536	9" Dbl Am Elm	To Be Removed	Prop. Grading for Drainage
3031	10" PO	To Be Removed	Prop. Pad	3121	Dbl 12" Hackberry	To Be Removed	Prop. Road	3228	14" PO	To Be Removed	Prop. Pad	3328	Quad 20" Bois d'arc	To Be Removed	Prop. Grading for Drainage	3537	9" Dbl PO	To Be Removed	Prop. Pad
3032	4" Chinaberry	To Be Removed	Prop. Pad	3122	15" Hackberry	To Be Removed	Prop. Grading for Drainage	3229	8" BI Oak	To Be Removed	Prop. Pad	3329	6" Am Elm	To Be Removed	Prop. Grading for Drainage	3538	6" PO	To Be Removed	Prop. Pad
3033	24" Chinaberry	To Be Removed	Prop. Pad	3123	36" PO	To Be Removed	Prop. Pad	3231	12" PO	To Be Removed	Prop. Grading for Drainage	3330	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3539	10" Am Elm	To Be Removed	Prop. Pad
3034	24" BI Oak	To Be Removed	Prop. Pad	3124	8" Hackberry	To Be Removed	Prop. Pad	3232	14" BI Oak	To Be Removed	Prop. Grading for Drainage	3331	6" Am Elm	To Be Removed	Prop. Grading for Drainage	3541	10" ERC	To Be Removed	Prop. Pad
3035	6" Chinaberry	To Be Removed	Prop. Pad	3125	6" Hackberry	To Be Removed	Prop. Pad	3233	Dbl 8" Pecan	To Be Removed	Prop. Pad	3332	Dbl 10" Am Elm	To Be Removed	Prop. Grading for Drainage	3542	8" Am Elm	To Be Removed	Prop. Pad
3036	14" BI Oak	To Be Removed	Prop. Grading for Drainage	3126	18" Cedar	To Be Removed	Prop. Grading for Drainage	3234	12" ERC	To Be Removed	Prop. Pad	3333	6" Locust	To Be Removed	Prop. Grading for Drainage	3543	7" Dbl Am Elm	To Be Removed	Prop. Pad
3037	12" Am Elm	To Be Removed	Prop. Grading for Drainage	3127	6" Hackberry	To Be Removed	Prop. Grading for Drainage	3235	Dbl 10" ERC	To Be Removed	Prop. Pad	3334	6" Hackberry	To Be Removed	Prop. Grading for Drainage	3544	12" Tpl Am Elm	To Be Removed	Prop. Pad
3038	Dbl 16" Am Elm	To Be Removed	Prop. Grading for Drainage	3128	9" Dbl Am Elm	To Be Removed	Prop. Grading for Drainage	3236	8" ERC	To Be Removed	Prop. Pad	3335	6" Am Elm	To Be Removed	Prop. Grading for Drainage	3545	6" Am Elm	To Be Removed	Prop. Pad
3040	14" Am Elm	To Be Removed	Prop. Grading for Drainage	3129	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3240	12" ERC	To Be Removed	Prop. Grading for Drainage	3337	6" Am Elm	To Be Removed	Prop. Grading for Drainage	3547	6" PO	To Be Removed	Prop. Pad
3041	10" Am Elm	To Be Removed	Prop. Grading for Drainage	3130	26" Hackberry	To Be Removed	Prop. Pad	3241	20" ERC	To Be Removed	Prop. Drainage Channel	3338	12" Hackberry	To Be Removed	Prop. Grading for Drainage	3548	6" Am Elm	To Be Removed	Prop. Pad
3042	Dbl 14" Catalpa	--	Protected	3131	24" snag	To Be Removed	Prop. Pad	3242	15" Dbl ERC	To Be Removed	Prop. Grading for Drainage	3339	8" Am Elm	To Be Removed	Prop. Grading for Drainage	3549	4" ERC	To Be Removed	Prop. Pad
3043	4" Catalpa	--	Protected	3132	12" PO	Quality	Protected	3243	12" ERC	To Be Removed	Prop. Grading for Drainage	3341	12" Am Elm	To Be Removed	Prop. Grading for Drainage	3550	10" Quad Am Elm	To Be Removed	Prop. Pad
3044	Dbl 8" Catalpa	--	Protected	3134	16" Pecan	Quality	Protected	3244	6" ERC	To Be Removed	Prop. Grading for Drainage	3343	10" Hackberry	To Be Removed	Prop. Grading for Drainage	3552	6" Dbl Am Elm	To Be Removed	Prop. Pad
3045	10" Catalpa	--	Protected	3135	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3245	12" ERC	To Be Removed	Prop. Grading for Drainage	3344	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3553	6" Am Elm	To Be Removed	Prop. Grading for Drainage
3046	10" Hackberry	Quality	Protected	3136	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3246	10" PO	To Be Removed	Prop. Pad	3345	8" Hackberry	To Be Removed	Prop. Grading for Drainage	3554	6" Am Elm	To Be Removed	Prop. Pad
3047	8" Hackberry	Quality	Protected	3137	12" Hackberry	To Be Removed	Prop. Grading for Drainage	3247	6" ERC	To Be Removed	Prop. Grading for Drainage	3346	8" Am Elm	To Be Removed	Prop. Grading for Drainage	4000	2" BI Oak	To Be Removed	Prop. Pad
3048	12" Hackberry	Quality	Protected	3138	36" PO	To Be Removed	Prop. Pad	3248	8" ERC	To Be Removed	Prop. Pad	3347	Dbl 14" ERC	To Be Removed	Prop. Pad	4001	2" PO	To Be Removed	Prop. Pad
3049	8" Hackberry	Quality	Protected	3139	36" PO	To Be Removed	Prop. Pad	3249	12" ERC	To Be Removed	Prop. Pad	3348	6" Am Elm	To Be Removed	Prop. Pad	4002	8" Tpl Am Elm	Marginal	Protected
3050	6" Hackberry	Quality	Protected	3141	12" Hackberry	To Be Removed	Prop. Pad	3250	12" ERC	To Be Removed	Prop. Pad	3349	6" ERC	To Be Removed	Prop. Pad	4003	6" PO	Quality	Protected
3051	12" Hackberry	Quality	Protected	3142	14" Hackberry	To Be Removed	Prop. Pad	3251	Dbl 15" ERC	To Be Removed	Prop. Pad	3350	10" ERC	To Be Removed	Prop. Pad	4004	8" PO	Quality	Protected
3052	10" Am Elm	Marginal	Protected	3143	Tpl 20" Am Elm	To Be Removed	Prop. Grading for Drainage	3255	18" Pecan	To Be Removed	Prop. Det Pond	3351	Dbl 14" Am Elm	To Be Removed	Prop. Grading for Drainage	4005	6" Pecan	Quality	Protected
3053	Tpl 12" Hackberry	Quality	Protected	3144	dbl 15" China Berry	--	Protected	3256	Dbl 24" Pecan	To Be Removed	Prop. Det Pond	3352	8" Hackberry	To Be Removed	Prop. Grading for Drainage	4007	12" ERC	Quality	Protected
3054	Dbl 16" Am Elm	To Be Removed	Prop. Grading for Drainage	3145	14" Hackberry	To Be Removed	Prop. Pad	3257	Dbl 10" Pecan	Quality	Protected	3353	12" Am Elm	To Be Removed	Prop. Grading for Drainage	4008	12" ERC	Quality	Protected
3055	Dbl 36" Cottonwood	To Be Removed	Prop. Pad	3146	14" tree	To Be Removed	Prop. Pad	3258	Tpl 18" Pecan	To Be Removed	Prop. Det Pond	3354	15" Am Elm	To Be Removed	Prop. Grading for Drainage	4009	8" ERC	Quality	Protected
3057	24" Am Elm	To Be Removed	Prop. Pad	3147	8" PO	To Be Removed	Prop. Road	3259	6" Am Elm	To Be Removed	Prop. Det Pond	3356	12" Am Elm	To Be Removed	Prop. Grading for Drainage	4010	10" ERC	Quality	Protected
3058	10" Am Elm	To Be Removed	Prop. Grading for Drainage	3148	4" PO	To Be Removed	Prop. Road	3260	6" Pecan	Quality	Protected	3358	10" Am Elm	To Be Removed	Prop. Grading for Drainage	4011	12" ERC	Quality	Protected
3059	Tpl 14" BI Oak	To Be Removed	Prop. Pad	3149	4" PO	To Be Removed	Prop. Road	3261	8" Hackberry	To Be Removed	Prop. Det Pond	3359	24" Snag	To Be Removed	Prop. Grading for Drainage	4012	10" PO	To Be Removed	Prop. Pad
3060	8" PO	To Be Removed	Prop. Pad	3150	24" PO	To Be Removed	Prop. Road	3262	8" Am Elm	To Be Removed	Prop. Det Pond	3360	8" Am Elm	To Be Removed	Prop. Grading for Drainage	4013	14" ERC	To Be Removed	Prop. Pad
3061	18" BI Oak	To Be Removed	Prop. Grading for Drainage	3151	14" PO	To Be Removed	Prop. Road	3263	8" Hackberry	To Be Removed	Prop. Det Pond	3361	10" Am Elm	To Be Removed	Prop. Grading for Drainage	4014	8" PO	To Be Removed	Prop. Pad
3062	10" PO	To Be Removed	Prop. Grading for Drainage	3152	36" PO	To Be Removed	Prop. Pad	3264	10" Cottonwood	To Be Removed	Prop. Det Pond	3362	16" Am Elm	To Be Removed	Prop. Grading for Drainage	4015	6" PO	To Be Removed	Prop. Pad
3063	10" PO	To Be Removed	Prop. Grading for Drainage	3153	32" PO	To Be Removed	Prop. Road	3265	Quad 24" Willow	--	Protected	3363	8" Am Elm	To Be Removed	Prop. Grading for Drainage	4016	9" BI Oak	To Be Removed	Prop. Pad
3064	8" BI Oak	To Be Removed	Prop. Grading for Drainage	3154	20" PO	To Be Removed	Prop. Road	3267	14" ERC	To Be Removed	Prop. Grading for Drainage	3364	Dbl 13" Hackberry	To Be Removed	Prop. Grading for Drainage	4017	8" Red Oak	To Be Removed	Prop. Pad
3065	14" BI Oak	To Be Removed	Prop. Grading for Drainage	3155	14" PO	To Be Removed	Prop. Grading for Drainage	3268	12" ERC	To Be Removed	Prop. Drainage Channel	3365	12" Am Elm	To Be Removed	Prop. Grading for Drainage	4018	6" Pecan	To Be Removed	Prop. Pad
3067	17" Am Elm	To Be Removed	Prop. Pad	3156	Dbl 18" PO	To Be Removed	Prop. Grading for Drainage	3269	12" ERC	To Be Removed	Prop. Grading for Drainage	3366	12" Hackberry	To Be Removed	Prop. Grading for Drainage	4019	10" PO	To Be Removed	Prop. Grading for Drainage
3068	20" Am Elm	To Be Removed	Prop. Pad	3157	Dbl 14" PO	To Be Removed	Prop. Grading for Drainage	3270	Dbl 20" ERC	To Be Removed	Prop. Grading for Drainage	3367	10" Am Elm	To Be Removed	Prop. Grading for Drainage	4021	7" Red Oak	To Be Removed	Prop. Pad
3069	10" PO	To Be Removed	Prop. Pad	3158	8" PO	To Be Removed	Prop. Grading for Drainage	3271	12" Pecan	To Be Removed	Prop. Grading for Drainage	3371	Dbl 10" Am Elm	To Be Removed	Prop. Grading for Drainage	4022	6" Pecan	To Be Removed	Prop. Pad
3070	14" PO	To Be Removed	Prop. Pad	3159	10" PO	To Be Removed	Prop. Grading for Drainage	3272	Quad 24" ERC	To Be Removed	Prop. Pad	3372	8" Willow	To Be Removed	Prop. Det Pond	4023	13" ERC	To Be Removed	Prop. Pad
3071	36" PO	To Be Removed	Prop. Road	3160	Dbl 15" PO	To Be Removed	Prop. Grading for Drainage	3273	10" Am Elm	To Be Removed	Prop. Road	3373	30" Willow	To Be Removed	Prop. Det Pond	4024	9" Dbl Am Elm	To Be Removed	Prop. Pad
3072	8" Hackberry	To Be Removed	Prop. Road	3161	18" PO														



- NOTES:**
1. STREET LIGHTS SHALL BE LOCATED ADJACENT TO FIRE HYDRANTS WHENEVER POSSIBLE.
 2. STREET LIGHTS AT INTERSECTIONS SHALL BE 200 W, HIGH PRESSURE SODIUM. INTERNAL BLOCK STREET LIGHTS SHALL BE 100 W, HIGH PRESSURE SODIUM.

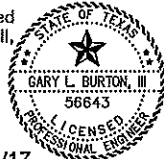


CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



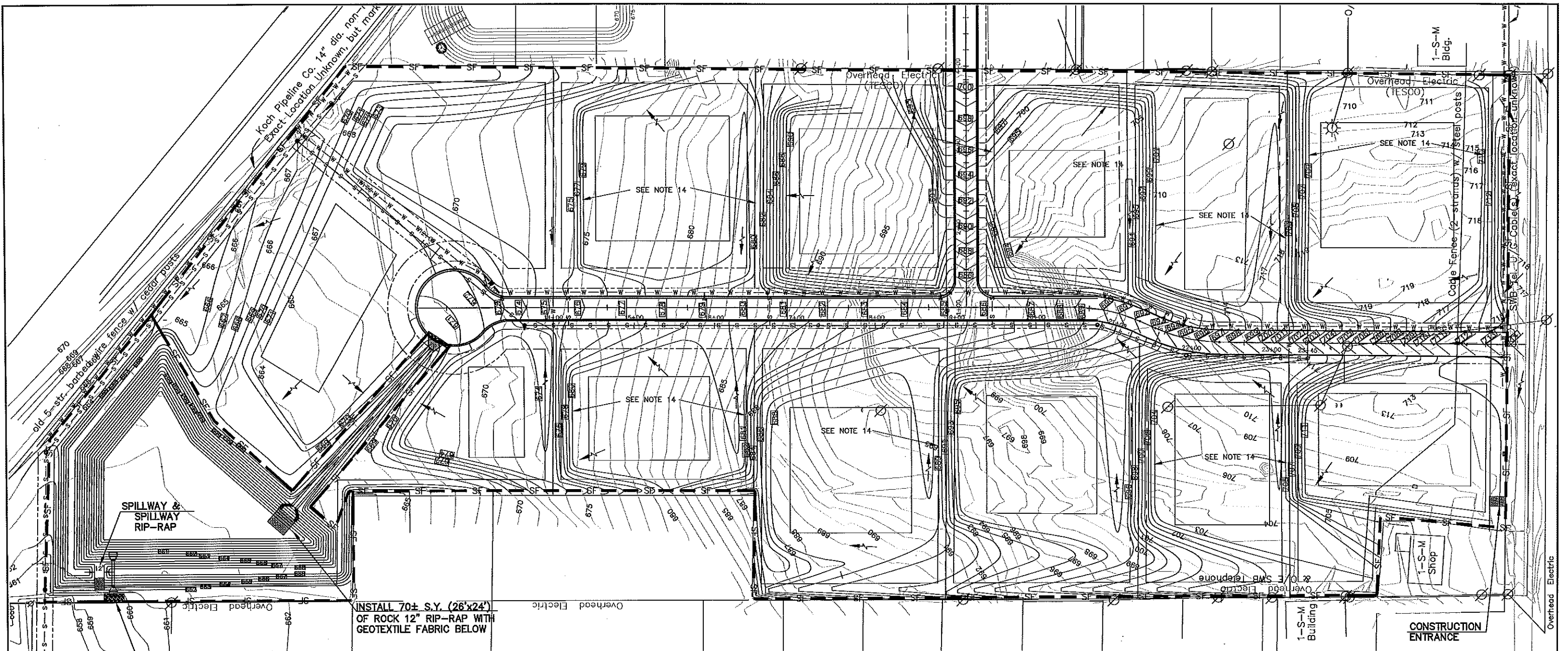
11/06/17

HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

LIGHTING PLAN

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	3.3



EROSION CONTROL NOTES:

1. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
2. OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
3. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
4. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR AT LEAST FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
5. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEEDED WITHIN SEVEN DAYS PER LANDSCAPING AND/OR OWNER'S REQUIREMENTS.
6. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
7. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
9. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
10. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH TCEQ STORMWATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
12. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED ON THESE PLANS.
13. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT TCEQ STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO ANY EXPORT OF MATERIALS, THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE THE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (HAY BALES OR SILT FENCES) ON ALL DOWNSLOPES AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR REVEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES UNTIL SITE HAS BEEN STABILIZED.
15. DOUBLE SILT FENCE ROWS TO BE MIN. 6' APART.
16. DETENTION POND TO SERVICE AS SEDIMENTATION BASIN DURING CONSTRUCTION.

EROSION CONTROL SEQUENCE OF OPERATIONS:

1. CONSTRUCT TEMPORARY CONSTRUCTION EXITS AT LOCATIONS WHERE EXITING OF ALL VEHICLES WILL TAKE PLACE (PER DETAILS). EXACT NUMBER AND LOCATIONS MAY BE ALTERED BY OWNER AND/OR JURISDICTIONAL ENTITIES.
2. INSTALL ALL PERIMETER SILT FENCING ALONG LIMITS OF CONSTRUCTION, AS SHOWN HEREON.
3. COMMENCE CLEARING AND GRUBBING WITHIN LIMITS OF PROPOSED GRADING ON THE SITE. CLEARING SHOULD PROGRESS ONLY AS WORK AREAS PROGRESS - DO NOT CLEAR ENTIRE SITE AT ONE TIME.
4. COMMENCE INITIAL SITE GRADING AND BUILDING SUBGRADE PAD PREPARATION PER PLANS AND SPECIFICATIONS. CONSTRUCT DIVERSION SWALES AS NEEDED TO ROUTE RUNOFF TOWARD EXISTING INLETS UNTIL THE STORM INLETS ARE COMPLETED.
5. INSTALL ALL INTERIOR STORM SEWER PIPES AS SHOWN ON THE GRADING PLAN TO THE LINES AND GRADES SHOWN THEREON.
6. PROPOSED UTILITIES MAY BE INSTALLED WHEN DESIRED; DEPTH REQUIREMENTS SHALL BE MAINTAINED FROM PROPOSED GRADES.
7. INSTALL SILT FENCE INLET PROTECTION AT LOCATIONS OF ALL INLETS, JUNCTION BOXES AND MANHOLES AT THE EXPOSED PIPE ENDS UPON COMPLETION OF LAYING AND BACKFILLING ALL STORM SEWER PIPES.
8. CONSTRUCT ALL GRATE INLETS, CURB INLETS, JUNCTION BOXES AND MANHOLES PER THE GRADING PLAN AND DETAIL SHEETS.
9. REMOVE INLET PROTECTION FROM GRATE INLETS AND CURB INLETS NO MORE THAN 48 HOURS PRIOR TO PLACING PAVING BASE.
10. COMPLETE FINAL SEEDING, SODDING, AND LANDSCAPING OF ALL DISTURBED AREAS.
11. REMOVE TEMPORARY CONSTRUCTION EXITS ONLY AFTER ALL SURFACES ARE STABILIZED.
12. REMOVE SILT FENCING ALONG PERIMETER ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—S—S—	—●—●—	SANITARY SEWER
	MHO	MANHOLE
—W—W—	—■—■—	WATER MAIN
	FH	FIRE HYDRANT
○	—T—T—	TREE
—P—P—		POWER
—O—O—		CHAINLINK FENCE
—X—X—		WIRE FENCE
—□—□—		STEEL PIPE FENCE
	—SF—	SILT FENCE
714	714	ELEVATION



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND UTILITY DAMAGE PREVENTION AND SAFETY ACT (TEXAS 811) MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS 811 AND ALL OTHER LOCAL COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTE:

1. DUE TO CONTRACTOR SEQUENCING OPERATIONS, THE LOCATION OF EROSION CONTROL MEASURES AS SHOWN ON THIS SHEET ARE TO BE USED AS A GUIDELINE ONLY. IT SHALL BE UNDERSTOOD THAT THIS SHEET IS PART OF A LARGER PROCESS OF PREVENTING SEDIMENTATION FROM LEAVING THE SITE. THIS PROCESS IS TO BE DYNAMIC IN NATURE AND THEREFORE THE CONTRACTOR SHALL LOCATE SILT FENCE, ROCK BERMS, CONSTRUCTION EXITS, ETC. AS NEEDED TO FACILITATE THE CURRENT PHASE OF CONSTRUCTION OF THE PROJECT. RELOCATION OF EROSION CONTROL MEASURES SHALL BE NOTED ON THIS SHEET AND SIGNED AND DATED BY THE CONTRACTOR.

2. REGARDLESS OF WHAT THIS SWPPP SITE PLAN SHOWS, THE OPERATOR IS RESPONSIBLE FOR FULLY COMPLYING WITH THE TCEQ GENERAL PERMIT TO THE FULLEST EXTENT. IF CONTRACTOR HAS ANY QUESTIONS, HE SHALL CONTACT TCEQ OR ENGINEER TO OBTAIN PERMIT CLARIFICATION. ANY AND ALL ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH TCEQ STORMWATER POLLUTION REGULATIONS FOR THE GENERAL PERMIT SHALL BE IMPLEMENTED BY THE CONTRACTOR.

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG.
CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

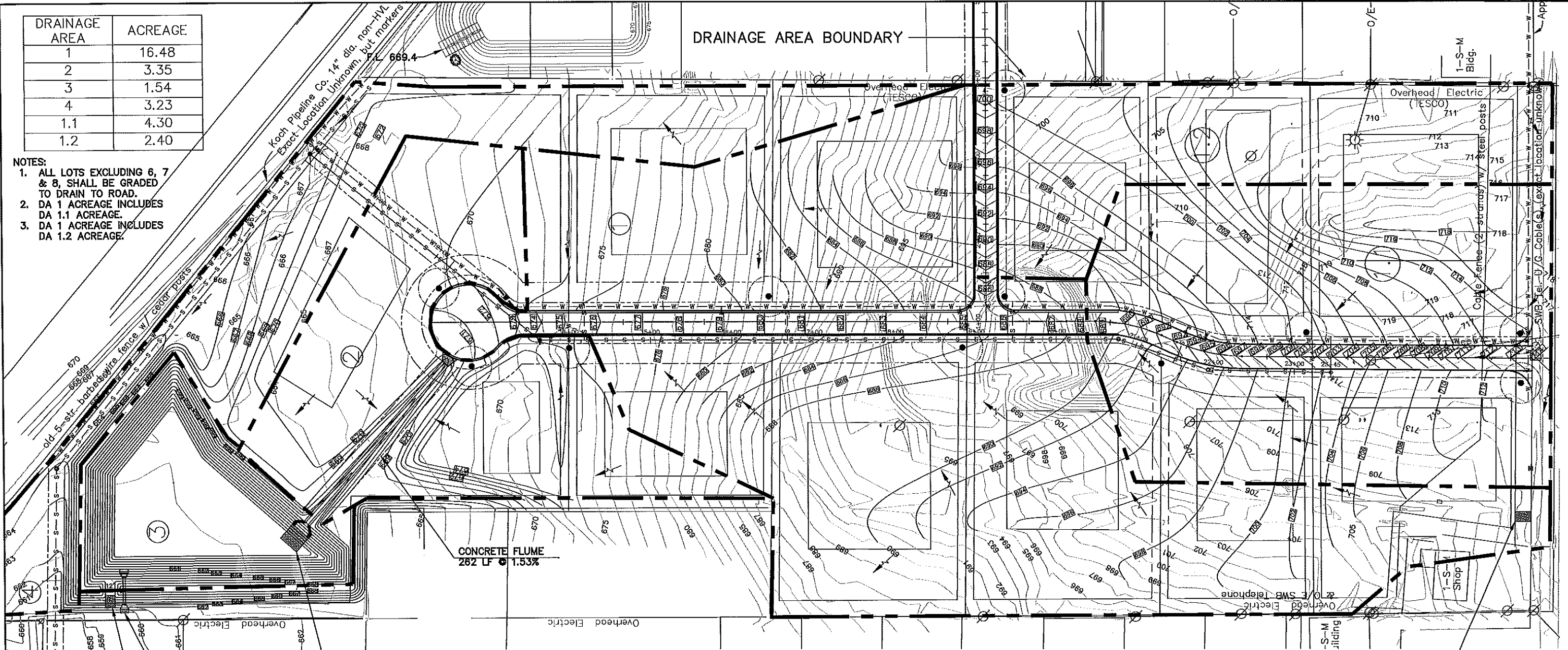
**STORM WATER
POLLUTION PREVENTION
PLAN**

PROJECT MGR. Gary L. Burton, III P.E.	JOB NO. 048150101
PROJECT TECH SR	DWG. NO. 4
CHECKED BY GLB	
REVIEWED BY GLB	

DRAINAGE AREA	ACREAGE
1	16.48
2	3.35
3	1.54
4	3.23
1.1	4.30
1.2	2.40

NOTES:

1. ALL LOTS EXCLUDING 6, 7 & 8, SHALL BE GRADED TO DRAIN TO ROAD.
2. DA 1 ACREAGE INCLUDES DA 1.1 ACREAGE.
3. DA 1 ACREAGE INCLUDES DA 1.2 ACREAGE.



INSTALL 5.56± S.Y. (10'x5') OF ROCK 12" RIP-RAP WITH FILTER FABRIC BELOW

INSTALL 70± S.Y. (26'x24') OF ROCK 12" RIP-RAP WITH GEOTEXTILE FABRIC BELOW.

SPILLWAY & SPILLWAY RIP-RAP

GRADING NOTES:

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
7. PROPOSED GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. ALL LANDSCAPING TO BE PER LANDSCAPE PLANS AND SPECIFICATIONS AND/OR AS DIRECTED BY OWNER.
9. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE M.E.P. PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
11. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ALL SPOT GRADES AND CONTOURS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED. FINISHED GRADE IS TO INCLUDE 4" TOPSOIL IN LANDSCAPED AREAS.
13. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
14. SLOPES BETWEEN LOTS ARE SHOWN AT 4H:1V (25%).
15. ALL LOTS WILL BE GRADED TO DRAIN TO ROAD OR DESIGNATED DRAINAGE EASEMENTS. LOT TO LOT DRAINAGE IS NOT PERMITTED PER KENNEDALE CODE. FINAL GRADING FOR EACH LOT SHALL BE PREPARED AND SUBMITTED TO CITY FOR APPROVAL BY INDIVIDUAL LOT OWNER. LOT OWNERS SHALL INSTALL NECESSARY RETAINING WALLS, STORM INLETS, AND DRAIN PIPES TO MEET THESE REQUIREMENTS.

LEGEND

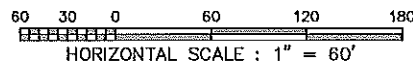
EXISTING	PROPOSED	DESCRIPTION
—S—S—	—S—S—	SANITARY SEWER
	MH	MANHOLE
—W—W—	—W—W—	WATER MAIN
	FH	FIRE HYDRANT
○		TREE
—P—P—		POWER
—C—C—		CHAINLINK FENCE
—X—X—		WIRE FENCE
—□—□—		STEEL PIPE FENCE
	SF	SILT FENCE
714	714	ELEVATION

NOTE: DRAINAGE AREA 1.1 DRAINS ONTO THE PORTION OF VILLAGE CREEK COURT WITH A CROWN SECTION. DRAINAGE AREA 1.2 DRAINS ONTO THE HUDSON VILLAGE-BLOXOM CONNECTING ROAD.

CONSTRUCTION ENTRANCE



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AS REQUIRED BY THE TEXAS UNDERGROUND UTILITY DAMAGE PREVENTION AND SAFETY ACT, TEXAS 811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS 811 AND ALL OTHER LOCAL COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

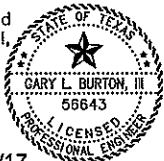


CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

HUDSON VILLAGE
BUSINESS PARK

REVISIONS	DATE	BY

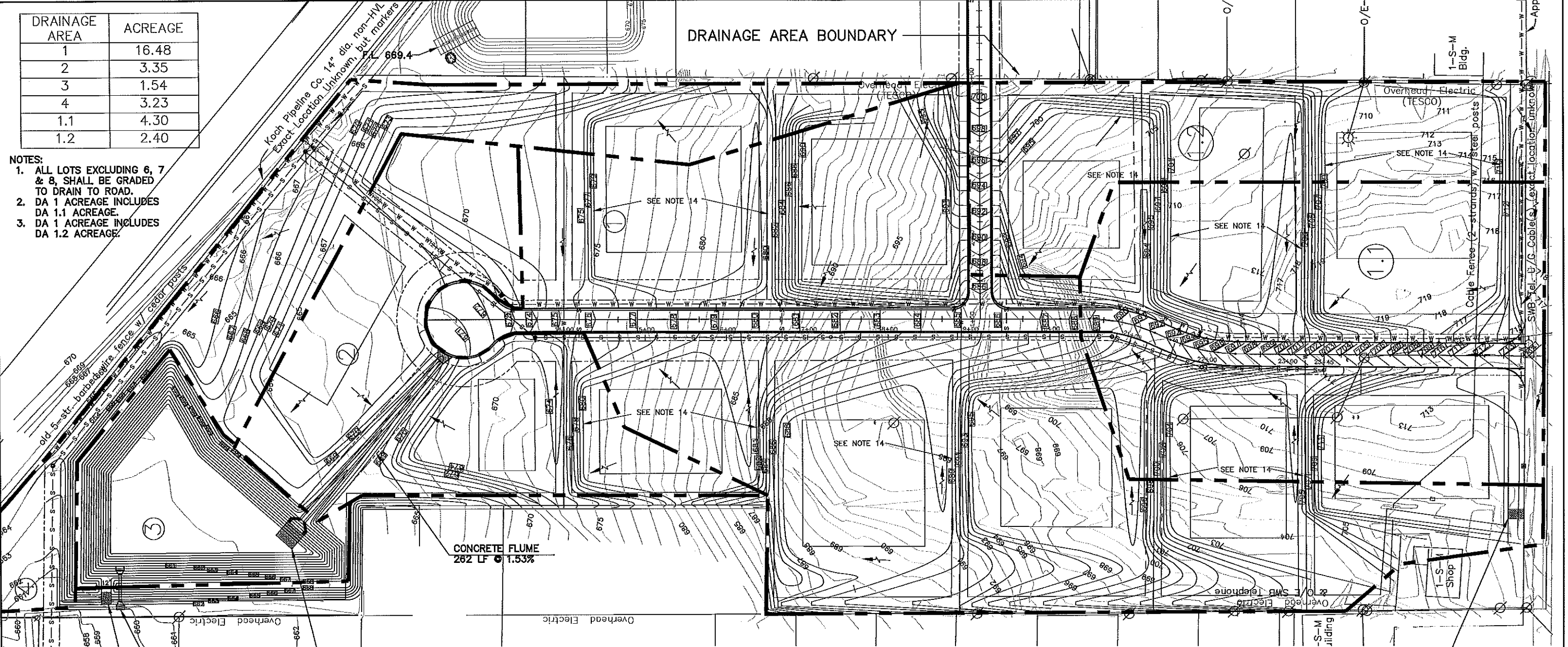
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

GRADING & DRAINAGE
PLAN

PROJECT MGR. Gary L. Burton, III P.E.	JOB NO. 048150101
PROJECT TECH SR	DWG. NO. 5
CHECKED BY GLB	
REVIEWED BY GLB	

DRAINAGE AREA	ACREAGE
1	16.48
2	3.35
3	1.54
4	3.23
1.1	4.30
1.2	2.40

- NOTES:
- ALL LOTS EXCLUDING 6, 7 & 8, SHALL BE GRADED TO DRAIN TO ROAD.
 - DA 1 ACREAGE INCLUDES DA 1.1 ACREAGE.
 - DA 1 ACREAGE INCLUDES DA 1.2 ACREAGE.



INSTALL 5.56± S.Y. (10'x5') OF ROCK 12" RIP-RAP WITH FILTER FABRIC BELOW

SPILLWAY & SPILLWAY RIP-RAP

INSTALL 70± S.Y. (26'x24') OF ROCK 12" RIP-RAP WITH GEOTEXTILE FABRIC BELOW.

GRADING NOTES:

- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
- PROPOSED GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. ALL LANDSCAPING TO BE PER LANDSCAPE PLANS AND SPECIFICATIONS AND/OR AS DIRECTED BY OWNER.
- FOR LOCATION OF ALL UTILITY ENTRANCES, SEE M.E.P. PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL SPOT GRADES AND CONTOURS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED. FINISHED GRADE IS TO INCLUDE 4" TOPSOIL IN LANDSCAPED AREAS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- SLOPES BETWEEN LOTS ARE SHOWN AT 4H:1V (25%).
- ALL LOTS WILL BE GRADED TO DRAIN TO ROAD OR DESIGNATED DRAINAGE EASEMENTS. LOT TO LOT DRAINAGE IS NOT PERMITTED PER KENNEDALE CODE. FINAL GRADING FOR EACH LOT SHALL BE PREPARED AND SUBMITTED TO CITY FOR APPROVAL BY INDIVIDUAL LOT OWNER. LOT OWNERS SHALL INSTALL NECESSARY RETAINING WALLS, STORM INLETS, AND DRAIN PIPES TO MEET THESE REQUIREMENTS.

LEGEND

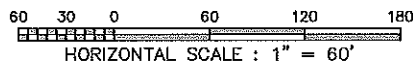
EXISTING	PROPOSED	DESCRIPTION
—S—S—	—S—S—	SANITARY SEWER
	MH⊙	MANHOLE
—W—W—	—W—W—	WATER MAIN
	FH⊕	FIRE HYDRANT
○		TREE
—P—P—		POWER
—C—C—		CHAINLINK FENCE
—X—X—		WIRE FENCE
—□—□—		STEEL PIPE FENCE
	—SF—	SILT FENCE
714	714	ELEVATION

NOTE:
DRAINAGE AREA 1.1 DRAINS ONTO THE PORTION OF VILLAGE CREEK COURT WITH A CROWN SECTION. DRAINAGE AREA 1.2 DRAINS ONTO THE HUDSON VILLAGE-BLOXOM CONNECTING ROAD.

CONSTRUCTION ENTRANCE



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND UTILITY DAMAGE PREVENTION AND SAFETY ACT (TUDSPA) MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCAL COMPANIES PRIOR TO EXCAVATION ACTIVITIES.



CP&Y, INC.

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11/06/17

HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY
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ONE INCH		

GRADING & DRAINAGE PLAN - ULTIMATE

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 5
REVIEWED BY GLB	

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E

Drainage Area Calculations (2, 10, 25, and 100-Year Design Frequency) - EXISTING CONDITIONS														
Area Designation	Area (acres)	Runoff Coeff C	CA (acres)	Tc	I2	Runoff Q2 (cfs)	I5	Runoff Q5 (cfs)	I10	Runoff Q10 (cfs)	I25	Runoff Q25 (cfs)	I100	Runoff Q100 (cfs)
1	16.48	0.30	4.94	10.00	4.71	23.30	5.74	28.39	6.51	32.20	7.55	37.33	9.24	45.71
2	3.35	0.30	1.01	10.00	4.71	4.74	5.74	5.77	6.51	6.55	7.55	7.59	9.24	9.29
3	1.54	0.30	0.46	10.00	4.71	2.18	5.74	2.65	6.51	3.01	7.55	3.49	9.24	4.27
4	3.23	0.30	0.97	10.00	4.71	4.57	5.74	5.57	6.51	6.31	7.55	7.32	9.24	8.96
Total	24.60	0.30	7.38			34.78		42.39		48.07		55.73		68.23

Drainage Area Calculations (2, 10, 25, and 100-Year Design Frequency) - PROPOSED DETENTION CONDITIONS														
Area Designation	Area (acres)	Runoff Coeff C	CA (acres)	Tc	I2	Runoff Q2 (cfs)	I5	Runoff Q5 (cfs)	I10	Runoff Q10 (cfs)	I25	Runoff Q25 (cfs)	I100	Runoff Q100 (cfs)
1	16.48	0.85	14.01	10.00	4.71	66.02	5.74	80.45	6.51	91.23	7.55	105.77	9.24	129.50
2	3.35	0.85	2.85	10.00	4.71	13.42	5.74	16.35	6.51	18.55	7.55	21.50	9.24	26.32
3	1.54	1.00	1.54	10.00	4.71	7.26	5.74	8.84	6.51	10.03	7.55	11.63	9.24	14.24
4														
Total	21.37	0.79	18.40			86.69		105.65		119.81		138.90		170.06
1.1*	4.30	0.85	3.66	10.00	4.71	17.23	5.74	20.99	6.51	23.80	7.55	27.60	9.24	33.79
1.2*	2.40	0.85	2.04	10.00	4.71	9.61	5.74	11.72	6.51	13.29	7.55	15.40	9.24	18.86

*NOTE: DA 1.1 & 1.2 ACREAGE & RUNOFF ARE INCLUDED IN DA 1 ACREAGE & RUNOFF.

		DETENTION POND VOLUME CALCULATIONS																
		Peak Runoff																
Return Period "Yr"	Designation	Drainage Area (Acres)	"C"	Rainfall Intensity $I=b/(Tc+d)^e$					Q Peak (cfs)	Q Allowable (cfs)	a	b	Critical Duration	Prelim Storage	Adjustment Factor	Max Storage		
				b	d	e	Tc	I (in/hr)										
2	1 to 3	21.37	0.79	51.393	9	0.81144	10	4.71	86.69	30.21	121.96	15.70	30.56	44,840.29	1.65	74,179.29		
5	1 to 3	21.37	0.79	71.154	12	0.81423	10	5.74	105.65	36.82	170.81	19.44	35.74	61,550.44	1.61	99,397.43		
10	1 to 3	21.37	0.79	77.103	12	0.79952	10	6.51	119.81	41.75	203.93	21.09	37.88	72,715.25	1.61	117,388.17		
25	1 to 3	21.37	0.79	90.982	13	0.79381	10	7.55	138.90	48.41	247.10	22.37	39.72	87,911.93	1.62	142,690.75		
100	1 to 3	21.37	0.79	110.202	14	0.7798	10	9.24	170.06	59.27	322.07	24.39	42.51	113,933.21	1.62	184,181.53		

$V = (1.486) \cdot (R)^{2/3} \cdot (S)^{1/2}$ $Q = V \cdot A$

V=VELOCITY (FT/S)
n=ROUGHNESS COEFF. 0.016(CONCRETE) 0.25(EARTHEN)
R=HYDRAULIC RADIUS = A/WP (FT)
WP=WETTED PERIMETER (FT)
Q=FLOW RATE (CFS)
A=AREA=AWE. WIDTH*DEPTH OF WATER (SQ.FT)
S=SLOPE (FEET/FOOT)

COMPOSITE N FOR FLUME CALCULATION (BASED ON Q100)					
D AT Q100 = 1.63'. WP AT Q100 = 17.94'.					
WP FOR CONCRETE = 9'. WP FOR EARTHEN CHANNEL = 8.94'.					
COMPOSITE N = (8.94/17.94)*(0.025) + (9/17.94)*(0.016) = 0.020					

GUTTER CAPACITY $Q = (1.486/n) \cdot A \cdot R^{2/3} \cdot S^{1/2}$

Q (cfs)	n	Area (ft²)	R (ft)	WP (ft)	S (ft/ft)
80.43	0.016	7.625	0.5	15.25	0.0325
99.76	0.016	7.625	0.5	15.25	0.05
63.09	0.016	7.625	0.5	15.25	0.02

R.O.W. CAPACITY											
R.O.W. Width	Flow Depth (ft)	(Flow Top Width)/2	Area (ft²)	WP (ft)	Slope (ft/ft)	Hyd. Radius (ft)	Velocity (ft/s)	Flow Rate Capacity (cfs)	Flow Rate Design cfs (Area 1 + Area 2)	Flow Rate Design cfs (Areas 1.1 or 1.2)	
NO CROWN	50	0.7	25	22.35	50.00	0.02	0.447	7.66	171.16	155.83	
CROWN	50	0.7	25	15.85	50.00	0.0325	0.317	7.75	122.91		33.79
CROWN	50	0.7	25	15.85	50.00	0.0635	0.317	10.84	171.80		18.86

ROADWAY

	Road Width (CF-CF)	Flow Depth (ft)	(Flow Top Width)/2	Area (ft²)	WP (ft)	Slope (ft/ft)	Hyd. Radius (ft)	Velocity (ft/s)	Flow Rate (cfs)
INVERTED CROWN	30.5	0.5	15.25	20.88	30.50	0.02	0.68442623	10.19	212.67
NO CROWN	30.5	0.5	15.25	14.25	30.50	0.02	0.467213115	7.89	112.41
CROWN	30.5	0.5	15.25	7.75	30.63	0.0325	0.253025098	6.67	51.67
CROWN	30.5	0.5	15.25	7.75	30.63	0.0635	0.253025098	9.32	72.23

CONCRETE FLUME (MANNING'S N=0.021)

Bottom Width (ft)	Depth (ft)	Top Width (ft)	Area (ft²)	WP (ft)	Slope (ft/ft)	Hyd. Radius (ft)	Velocity (ft/s)	Flow Rate (cfs)
4.5	3	28.5	49.5	29.24	0.0153	1.69	12.45	616.52
4.5	2	20.5	25	20.99	0.0153	1.19	9.84	245.99
4.5	1.5	16.5	15.75	16.87	0.0153	0.93	8.36	131.66

STORM DRAIN SUMMARY

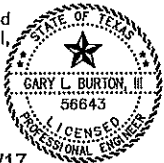
Concrete Flume	Drainage Area	Area (acres)	C	Tc	Intensity (in/hr)	n	Line Length (ft)	Total Flow 100 yr Storm (cfs)	Capacity Full, (cfs)	Velocity (ft/s)	Area (ft²)	Slope %	Inv El Dn	Inv El Up	V ₁ (ft/s)	V ₂ (ft/s)	Kj	HGL Slope %	HGL Dn	HGL Up	h _i
	1,2	19.83	0.85	10	9.24	0.021	262	170.06	245.99	9.84	25.00	1.53	664.00	668.00	9.84	6.80	0.50	1.53	666.70	670.70	0.20

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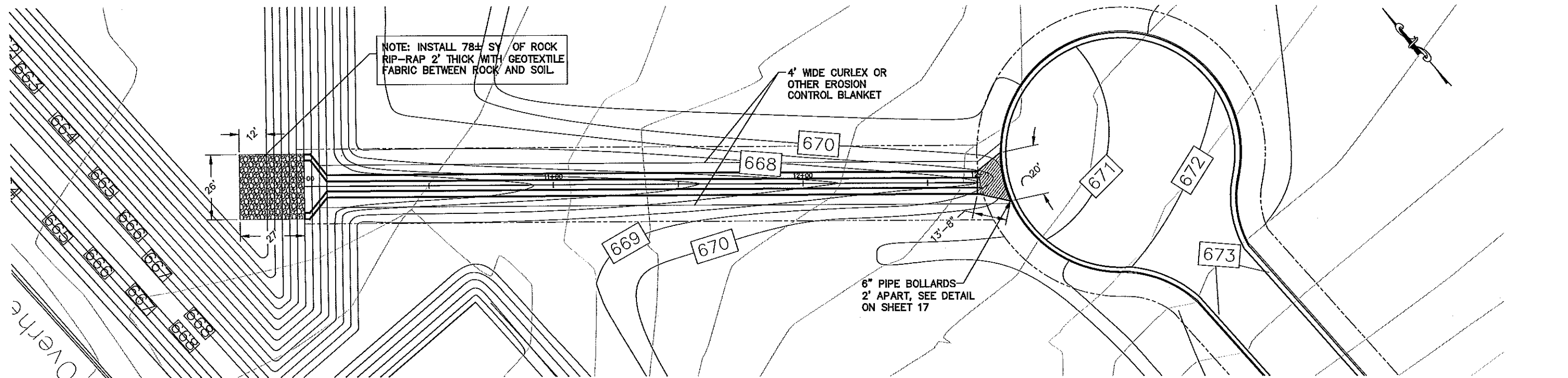
11/06/17

HUDSON VILLAGE
BUSINESS PARK

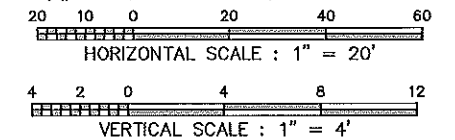
REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

DRAINAGE
CALCULATIONS

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	5.1

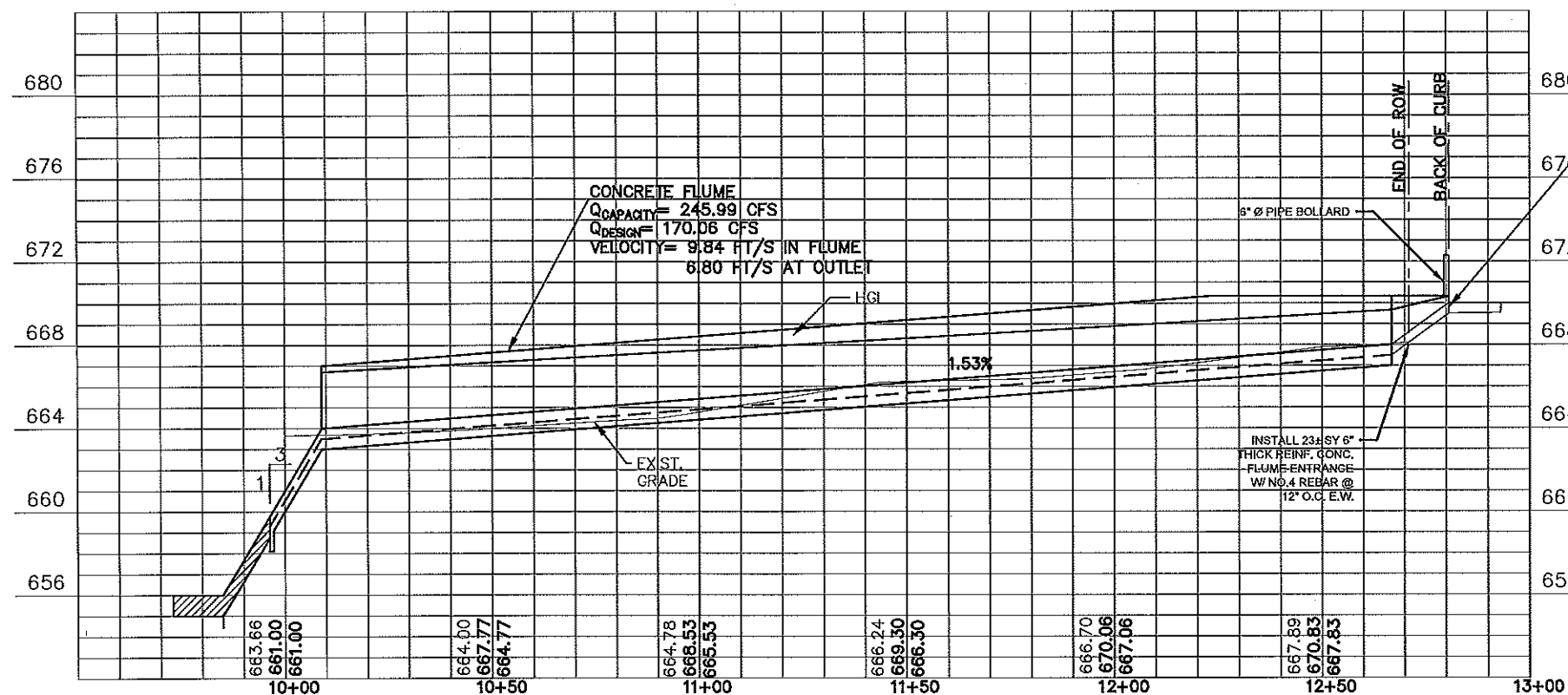
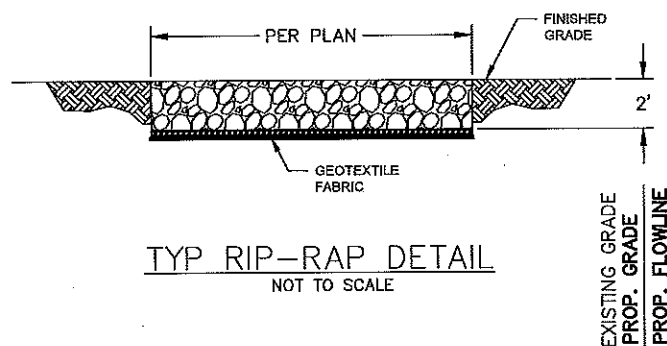


1. MAINTAIN 9' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER & SEWER LINES.
2. NO TREES LARGER THAN 4" CALIPER SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE.
3. ***CAUTION-NOTICE TO CONTRACTOR***
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORD OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, ACTUAL MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED HEREON IS NOT TO BE TAKEN AS EXACT OR FULLY COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE EXCAVATION TO REQUEST EXACT FIELD LOCATION AND DEPTH OF ALL EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN.



RIP-RAP GRADATION CHART FHWA CLASS IV RIP-RAP

D15	10.5"
D50	15.5"
D85	21.0"
D100	30.0"



CONNECT FLUME CONCRETE TO
ROAD CONCRETE WITH EXPANSION
JOINT.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—S—S—	—●—●—	SANITARY SEWER
	MH○	MANHOLE
—W—W—	—■—■—	WATER MAIN
	FH+	FIRE HYDRANT
○		TREE
—P—P—		POWER
—○—○—		CHAINLINK FENCE
—X—X—		WIRE FENCE
—□—□—		STEEL PIPE FENCE
714	714	ELEVATION

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by Gary L. Burton, III,
P.E. 56643



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**HUDSON VILLAGE
BUSINESS PARK**

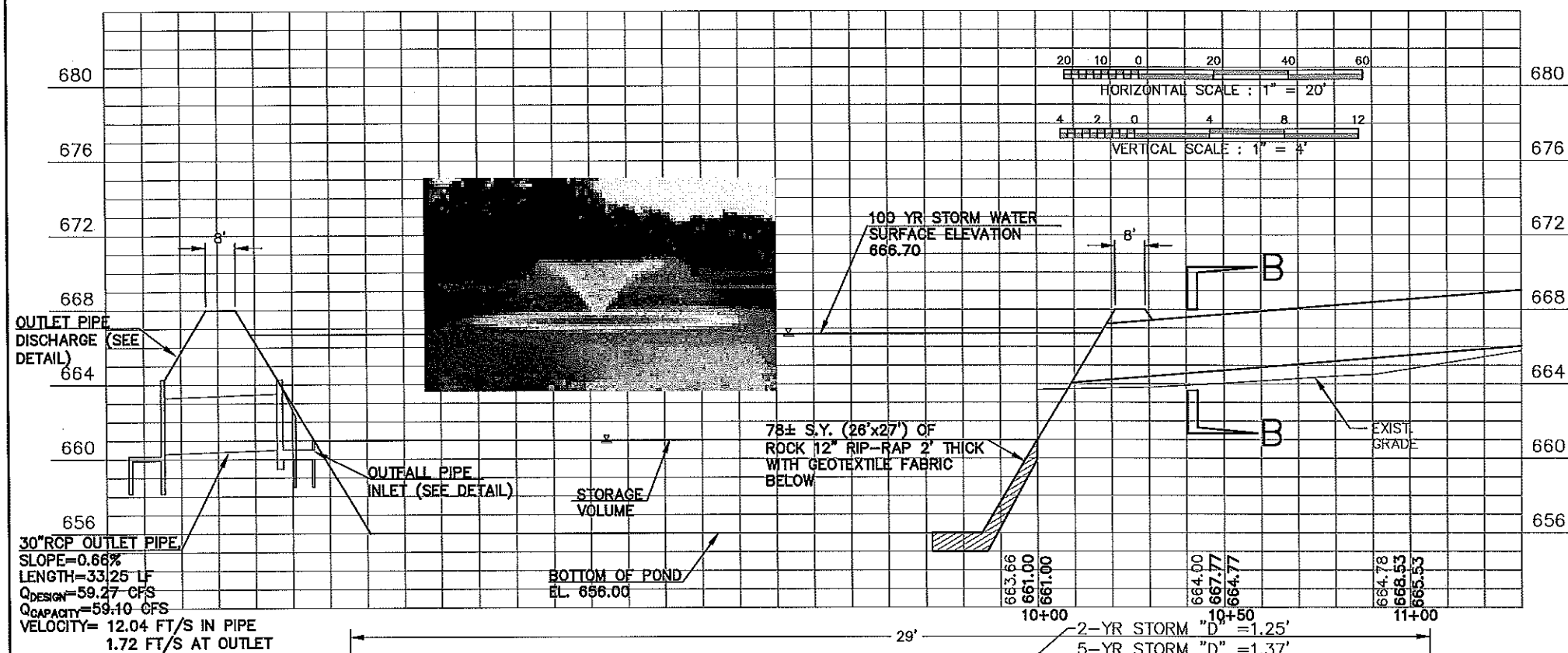
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG.
CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

**STORM DRAIN
PLAN & PROFILE,
FROM STA. 10+00
TO STA. 12+71**

PROJECT MGR. Gary L. Burton, III P.E.	JOB NO. 048150101
PROJECT TECH SR	DWG. NO. 6
CHECKED BY GLB	
REVIEWED BY GLB	

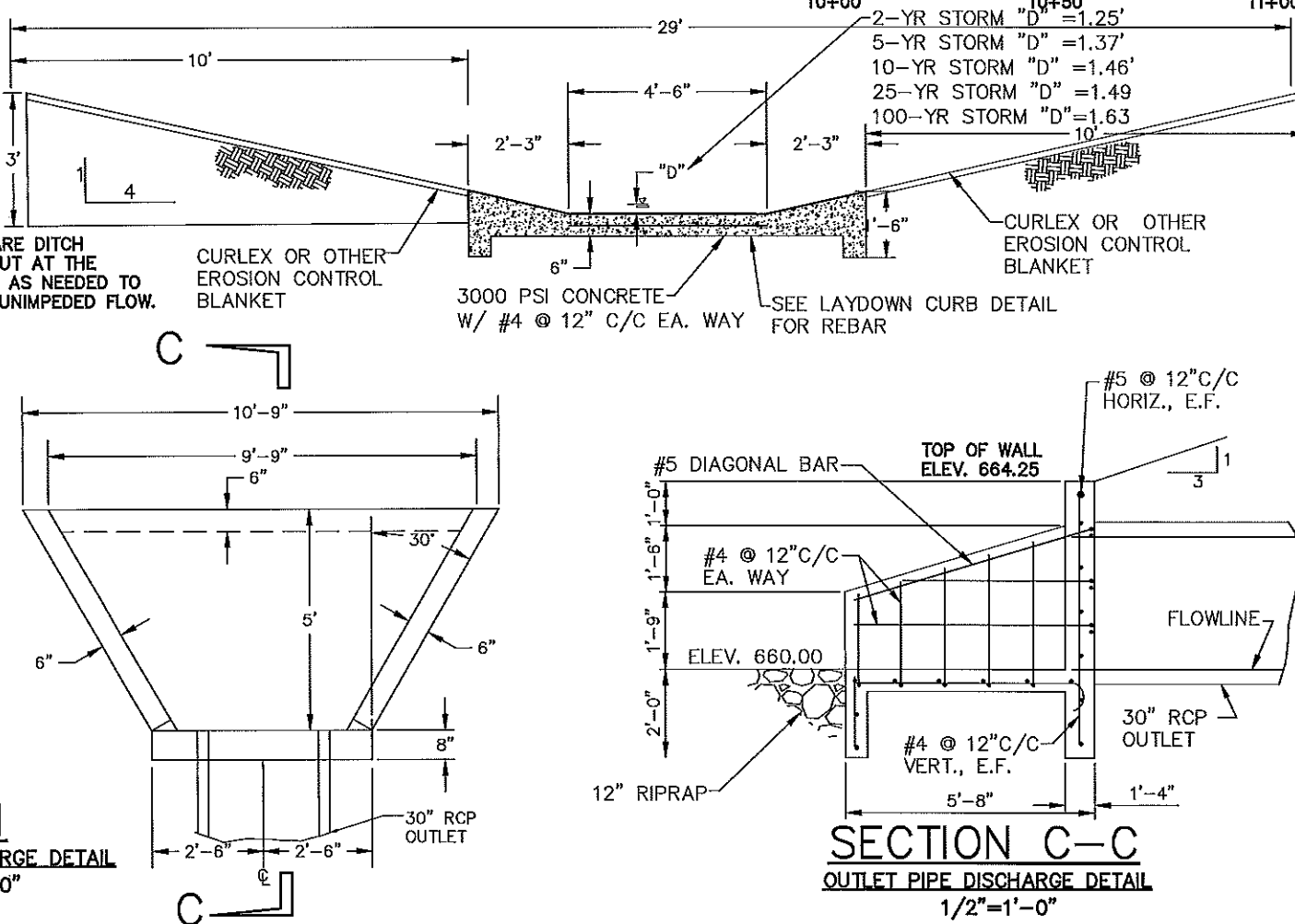


AREA OF OUTLET = $\frac{(\pi \times 3.75^2)}{4} = 10.92 \text{ FT}^2$
 VELOCITY = $\frac{Q}{A} = \frac{59.27 \text{ CFS}}{10.92 \text{ FT}^2} = 5.43 \text{ FT/S}$

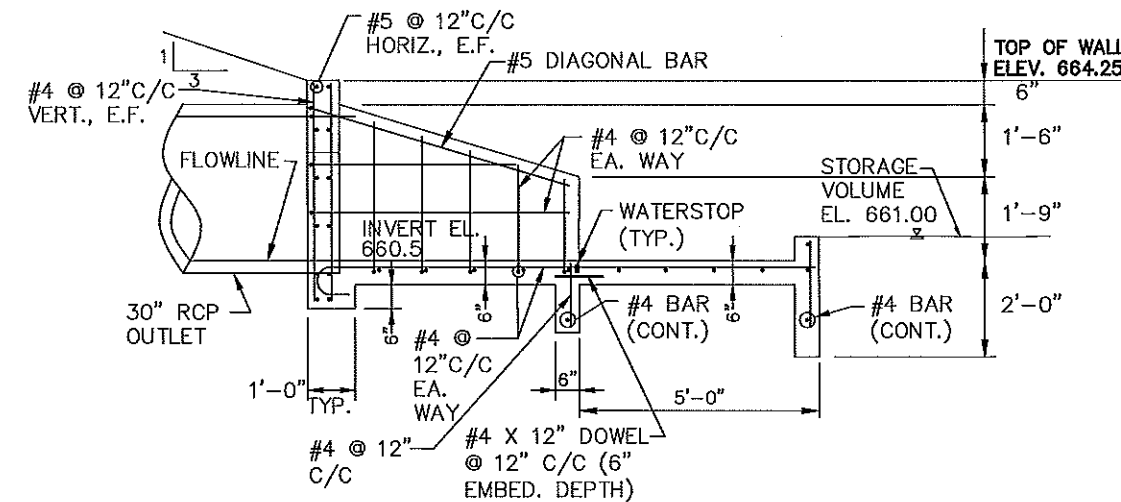
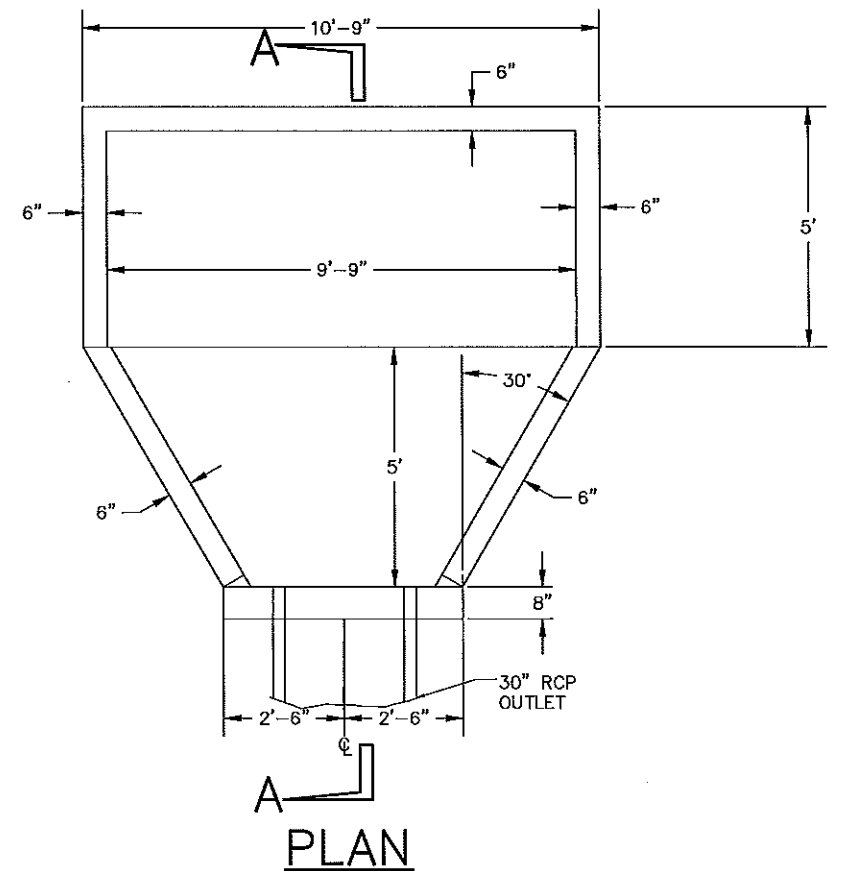
SECTION B-B CONCRETE FLUME DETAIL 1/2" = 1'-0"

NOTE: SEE SHEET 5.1 FOR OUTLET PIPE CAPACITY CALCULATIONS.

PLAN OUTLET PIPE DISCHARGE DETAIL 1/2" = 1'-0"



SECTION C-C OUTLET PIPE DISCHARGE DETAIL 1/2" = 1'-0"



SECTION A-A

OUTFALL PIPE INLET DETAIL 1/2" = 1'-0"

HEADWALL REINFORCING NOTES:

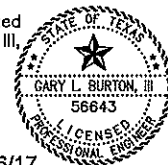
1. ALL VERTICAL BARS SHALL EXTEND INTO FLOOR SLAB WITH 90° HOOK (LENGTH OF HOOK - 1'-6").
2. ALL WING WALL HORIZONTAL BARS SHALL BEND AT CORNER AND HOOK INTO BACK WALL (LENGTH OF HOOK - 1'-6").

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**HUDSON VILLAGE
BUSINESS PARK**

REVISIONS

DATE

BY

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ONE INCH

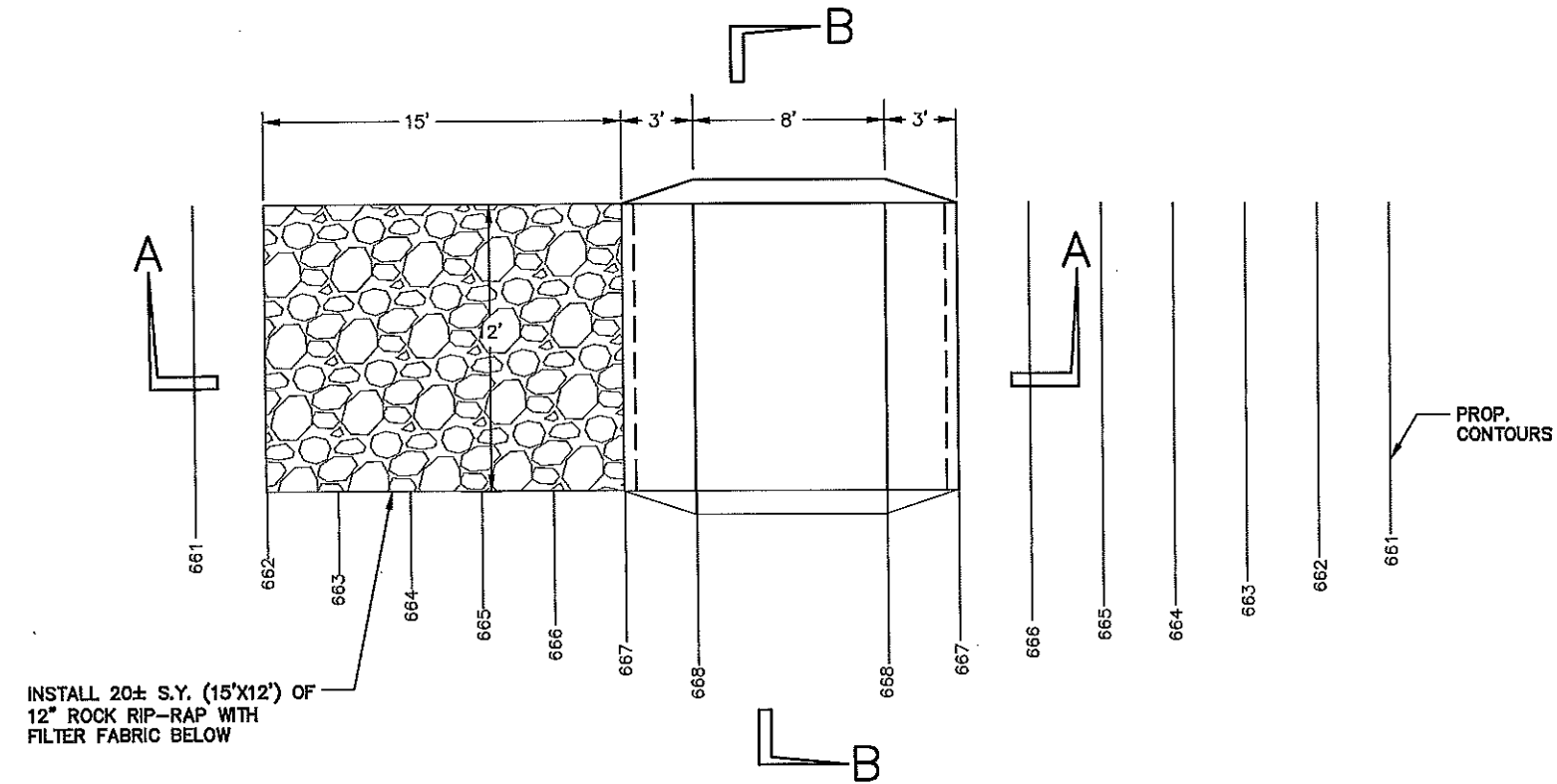
**DETENTION POND
PROFILE & DETAILS**

PROJECT MGR.
Gary L. Burton, III P.E.
PROJECT TECH
SR
CHECKED BY
GLB
REVIEWED BY
GLB

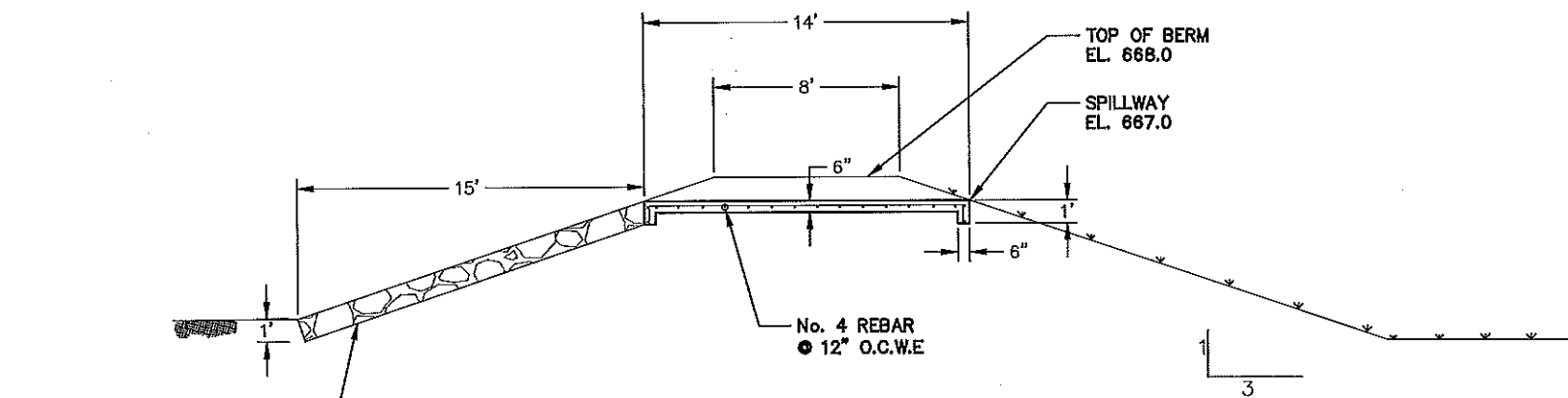
JOB NO.
048150101

DWG. NO.

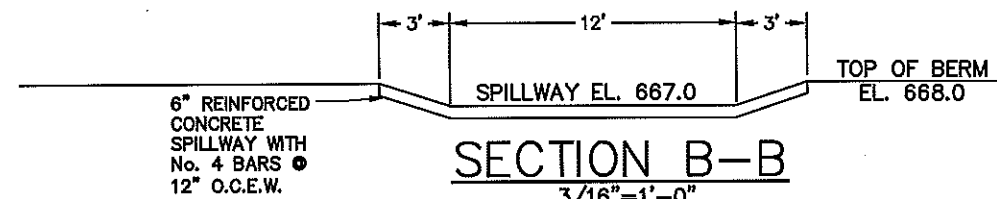
7



PLAN VIEW
3/16"=1'-0"



SECTION A-A
3/16"=1'-0"



SECTION B-B
3/16"=1'-0"

SPILLWAY CAPACITY (MANNING EQN)								
Bottom Width (ft)	Depth (ft)	Top Width (ft)	Area (ft ²)	WP (ft)	Slope (ft/ft)	Hyd. Radius (ft)	Velocity (ft/s)	Flow Rate (cfs)
12	0.7	16.2	9.95	16.43	0.01	0.61	6.65	66.14
SPILLWAY CAPACITY (BROAD-CRESTED WEIR EQN)								
Q = CLH ^{1.5}			C=2.63	L=15'	H=1'			
Q = 2.63 X 15 X (1) ^{1.5}								
Q = 39.5 cfs								

DETENTION POND VOLUME AT STAGES									
DETENTION VOLUME CALCULATED USING FRUSTRUM OF A PYRAMID EQUATION									
1	2	3	4	5	6	7			
Contour Elevation (ft)	Surface Area (ft ²)	Bottom Area (ft ²)	Top Area (ft ²)	Delta Depth (ft)	Total Depth (ft)	Delta Storage (ft ³)	Delta Storage (gal)	Accum. Storage (ft ³)	Accum. Storage (gal)
661	35,860								
		35,860	38,438	1	1	37,142	277,818.7	37,141.5	277,818.7
662	38,438								
		38,438	41,088	1	2	39,756	297,372.2	76,868.7	575,127.7
663	41,088								
		41,088	43,819	1	3	42,446	317,497.4	119,319.2	892,508.0
664	43,819								
		43,819	46,619	1	4	45,212	338,184.1	164,488.2	1,230,371.5
665	46,619								
		46,619	51,009	1	5	48,798	365,005.6	216,063.2	1,616,153.1
666	51,009								
		51,009	54,028	0.7	5.7	38,758	274,949.0	254,418.4	1,903,049.4
666.7	54,028								

DETENTION POND VOLUME STAGE DISCHARGE TABLE		
DEPTH (FT)	ELEVATION (FT)	DISCHARGE (CFS)
0.0	661.0	0.00
0.5	661.5	2.26
1.0	662.0	9.38
1.5	662.5	20.27
2.0	663.0	32.16
2.5	663.5	38.20
3.0	664.0	35.44
3.5	664.5	39.18
4.0	665.0	42.59
4.5	665.5	45.75
5.0	666.0	48.70
5.5	666.5	51.49
5.7	666.7	52.58
6.0	667.0	54.13

CP&Y, INC.
DBA GARY BURTON ENGINEERING (F-1741)
14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



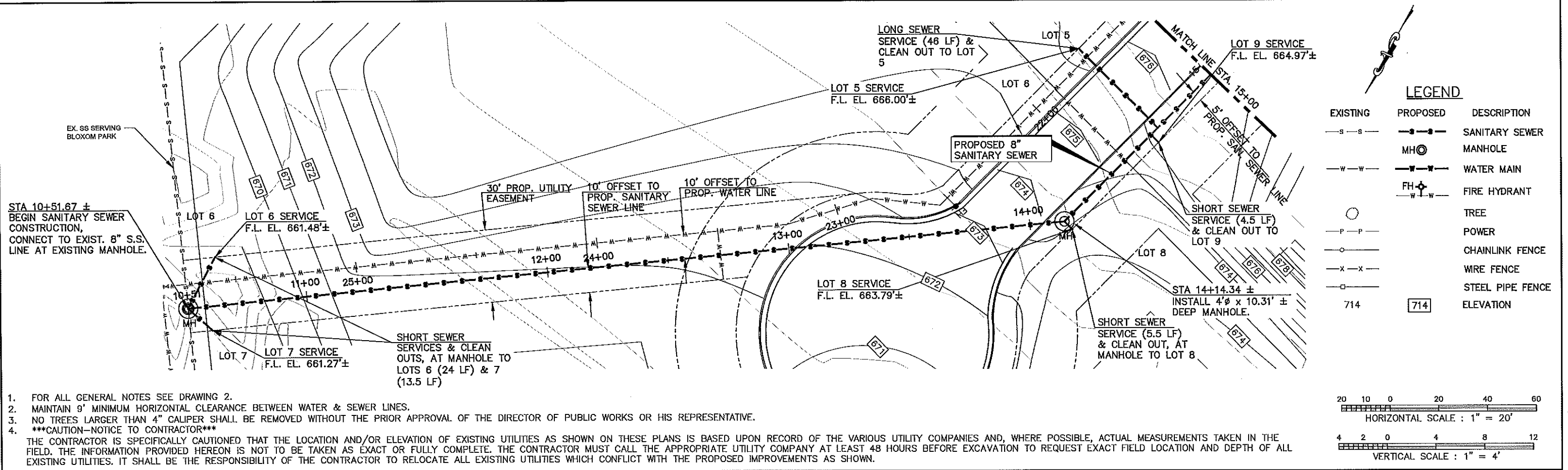
11/06/17

HUDSON VILLAGE
BUSINESS PARK

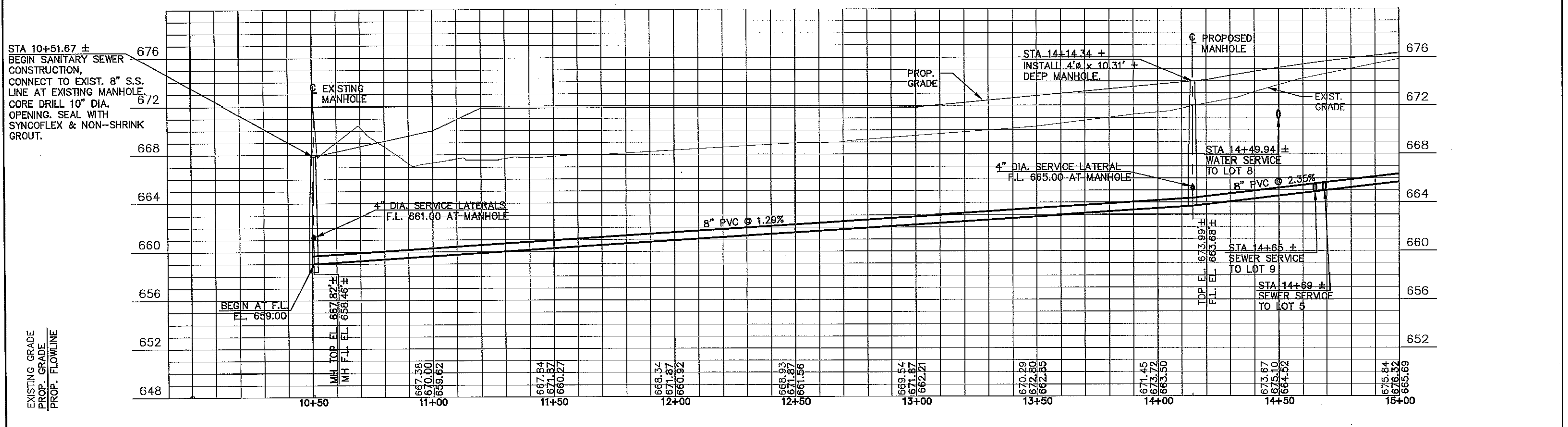
REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

SPILLWAY

PROJECT MGR. Gary L. Burton, III P.E.		
PROJECT TECH SR	JOB NO. 048150101	
CHECKED BY GLB	DWG. NO.	
REVIEWED BY GLB	8	



1. FOR ALL GENERAL NOTES SEE DRAWING 2.
 2. MAINTAIN 9' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER & SEWER LINES.
 3. NO TREES LARGER THAN 4" CALIPER SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE.
 4. ***CAUTION—NOTICE TO CONTRACTOR***
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORD OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, ACTUAL MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED HEREON IS NOT TO BE TAKEN AS EXACT OR FULLY COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE EXCAVATION TO REQUEST EXACT FIELD LOCATION AND DEPTH OF ALL EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN.



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11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

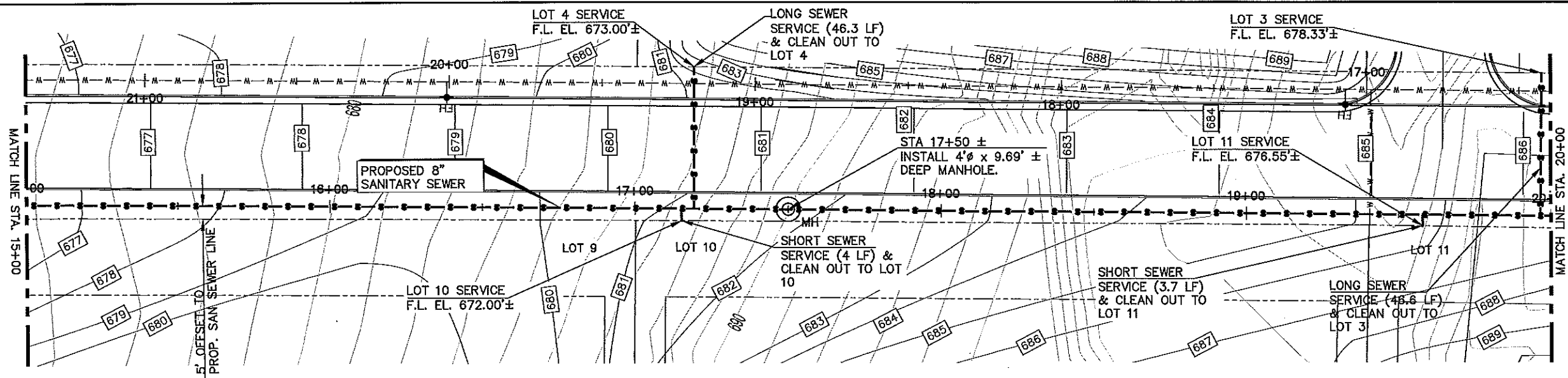
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

**SANITARY SEWER
PLAN & PROFILE
FROM STA. 10+51
TO STA. 15+00**

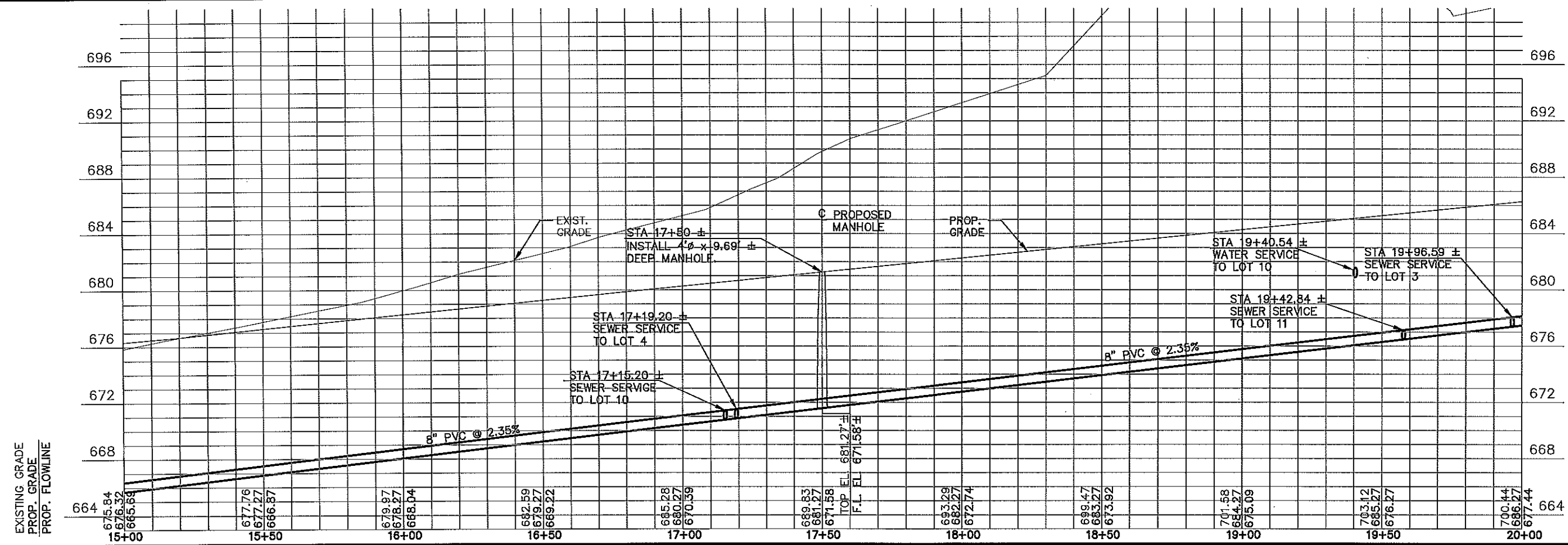
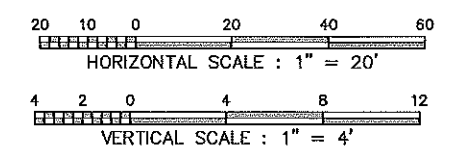
PROJECT MGR.	
PROJECT TECH	JOB NO.
SR	048150101
CHECKED BY	DWG. NO.
GLB	9
REVIEWED BY	
GLB	

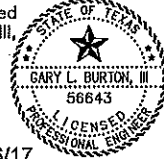


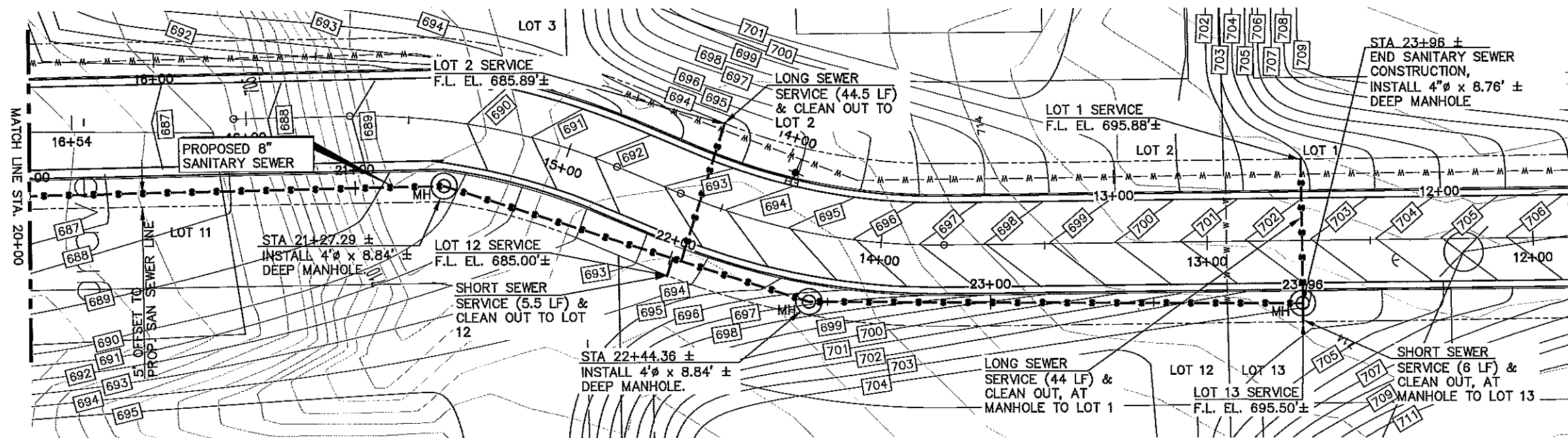
LEGEND

EXISTING	PROPOSED	DESCRIPTION
— S — S —	— S — S —	SANITARY SEWER
	MH	MANHOLE
— W — W —	— W — W —	WATER MAIN
	FH	FIRE HYDRANT
○		TREE
— P — P —		POWER
— X — X —		CHAINLINK FENCE
— X — X —		WIRE FENCE
— X — X —		STEEL PIPE FENCE
714	714	ELEVATION

1. FOR ALL GENERAL NOTES SEE DRAWING 2.
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CP&Y, INC. DBA GARY BURTON ENGINEERING (F-1741) 14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757	The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643  11/06/17	HUDSON VILLAGE BUSINESS PARK	REVISIONS DATE BY	SANITARY SEWER PLAN & PROFILE FROM STA. 15+00 TO STA. 20+00	PROJECT MGR. Gary L. Burton, III P.E.	
			BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY. ONE INCH		PROJECT TECH SR	JOB NO. 048150101
			CHECKED BY GLB		DWG. NO. 10	
			REVIEWED BY GLB			

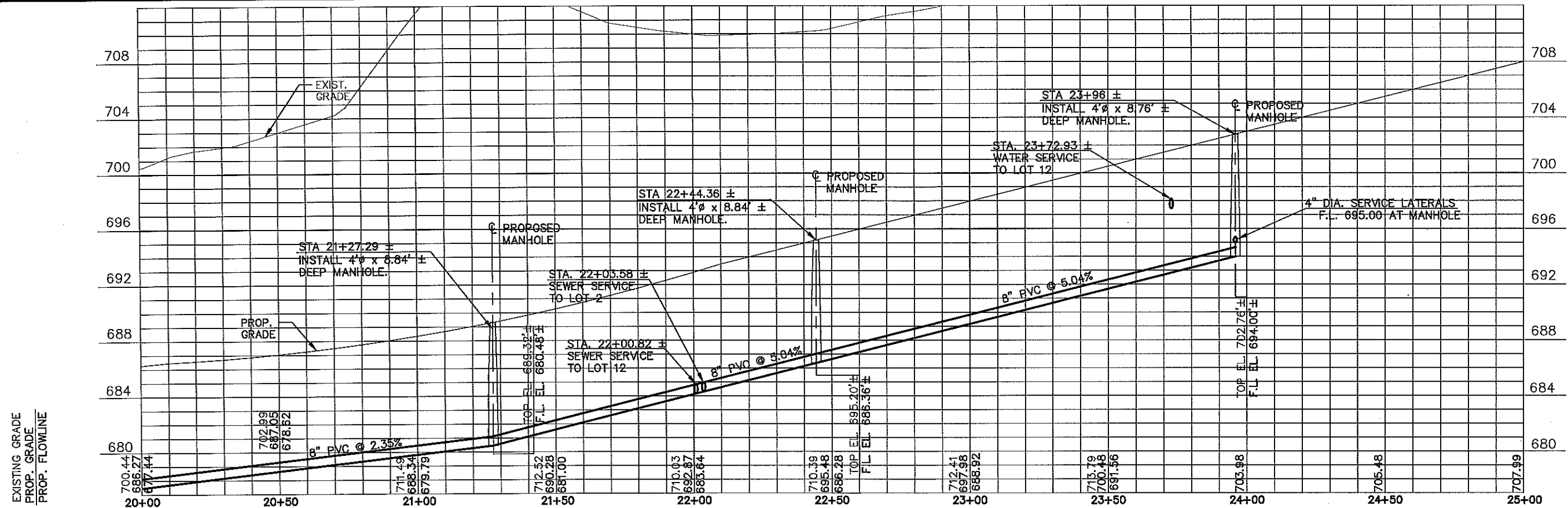
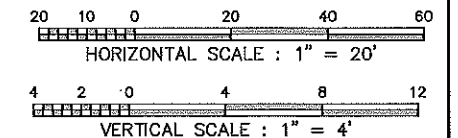


LEGEND

EXISTING	PROPOSED	DESCRIPTION
—S—S—	—●—●—	SANITARY SEWER
—W—W—	MH	MANHOLE
	—V—V—	WATER MAIN
	FH	FIRE HYDRANT
○		TREE
—P—P—		POWER
—X—X—		CHAINLINK FENCE
—□—□—		WIRE FENCE
		STEEL PIPE FENCE
	714	ELEVATION

- FOR ALL GENERAL NOTES SEE DRAWING 2.
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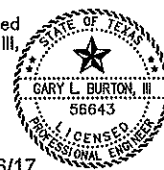
EXISTING GRADE
PROP. GRADE
PROP. FLOWLINE

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

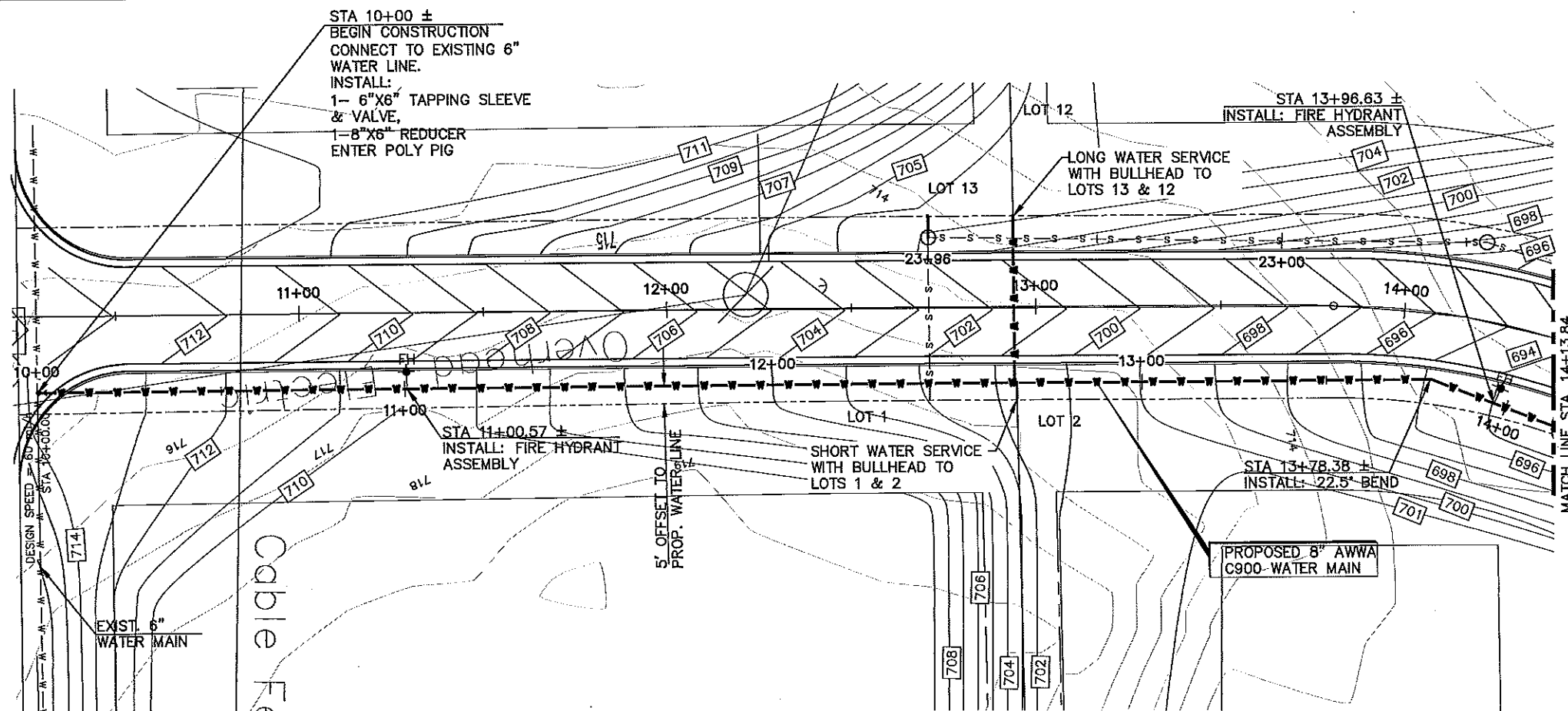
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

**SANITARY SEWER
PLAN & PROFILE
FROM STA. 20+00
TO STA. 23+96**

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	11



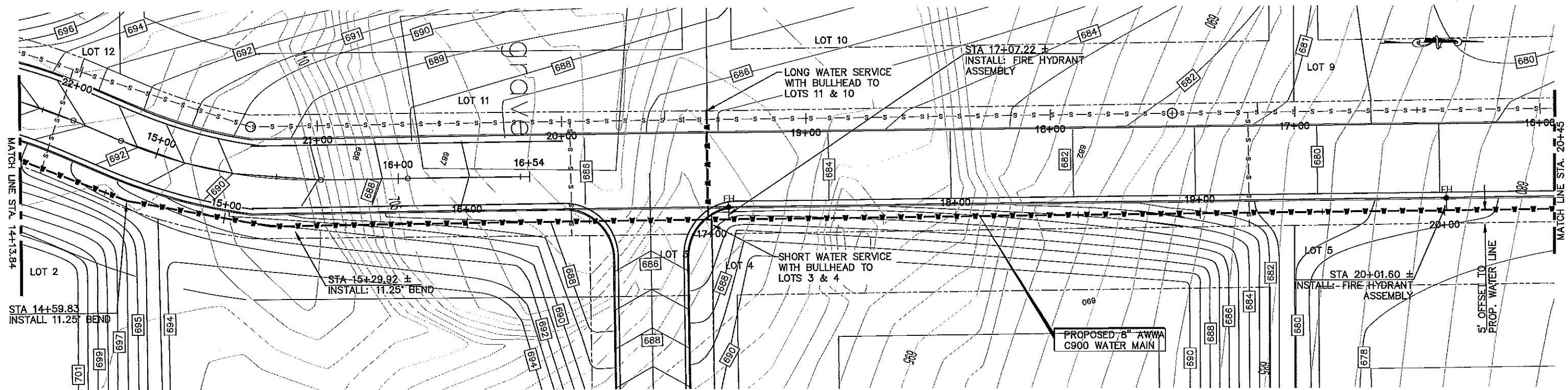
LEGEND

EXISTING	PROPOSED	DESCRIPTION
—s—s—	—s—s—	SANITARY SEWER
	MH	MANHOLE
—w—w—	—w—w—	WATER MAIN
	FH	FIRE HYDRANT
	○	TREE
—p—p—		POWER
—x—x—		CHAINLINK FENCE
		WIRE FENCE
		STEEL PIPE FENCE
	714	ELEVATION

- FOR ALL GENERAL NOTES SEE DRAWING 2.
- REMOVE ALL WATER TAPS ON THE EXISTING WATER MAIN AND RECONNECT TO NEW WATER MAIN. NEW MAIN SHALL PASS PRESSURE & PURITY TESTS PRIOR TO CONNECTING SERVICES. CUT, CAP, & ABANDON EXIST. WATER LINE IN PLACE
- ALL NEW WATER LINES SHALL BE CLEANED BY POLY PIG PRIOR TO WATER TESTING.
- PROVIDE DUCTILE IRON PIPE UNDER DRIVES. OPEN CUT AT ROCK DRIVES AND SLICK BORE AT CONCRETE & ASPHALT DRIVES, REFER TO DETAIL SHEETS.
- MAINTAIN 9' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER & SEWER LINES.
- NO TREES LARGER THAN 4" CALIPER SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE.
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HORIZONTAL SCALE : 1" = 20'

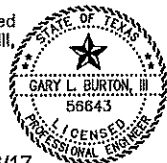


CP&Y, INC.

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herein was authorized
by Gary L. Burton, III,
P.E. 56643



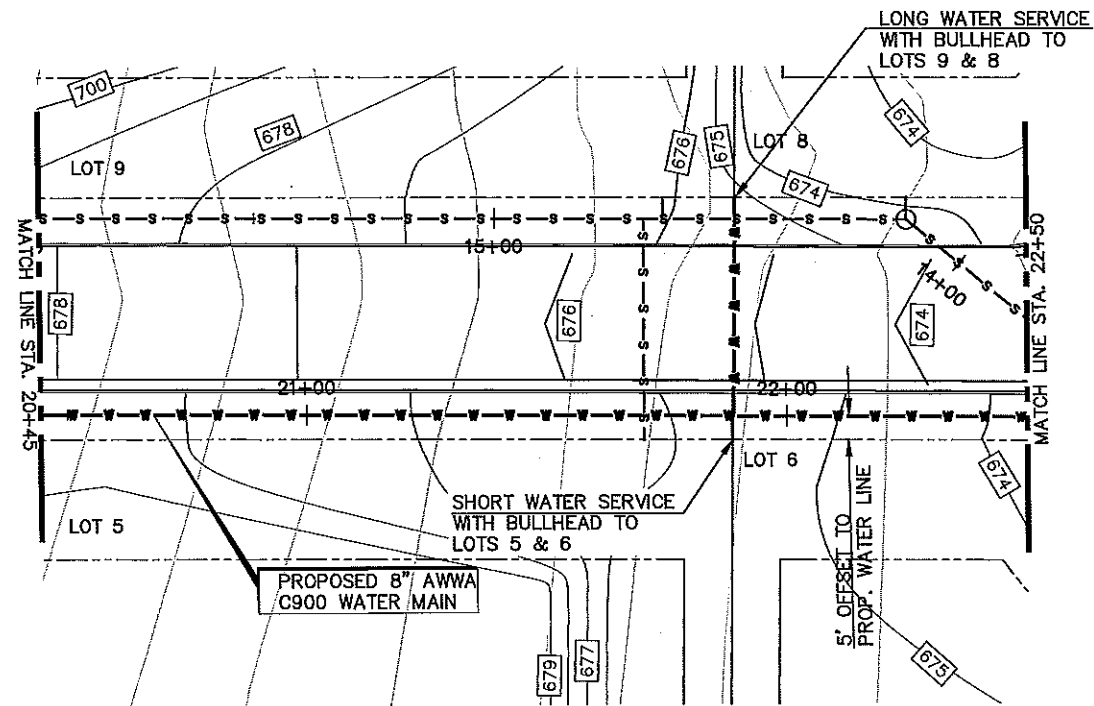
11/06/17

HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

**WATER PLAN
FROM STA. 10+00
TO STA. 20+45**

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 12
REVIEWED BY GLB	

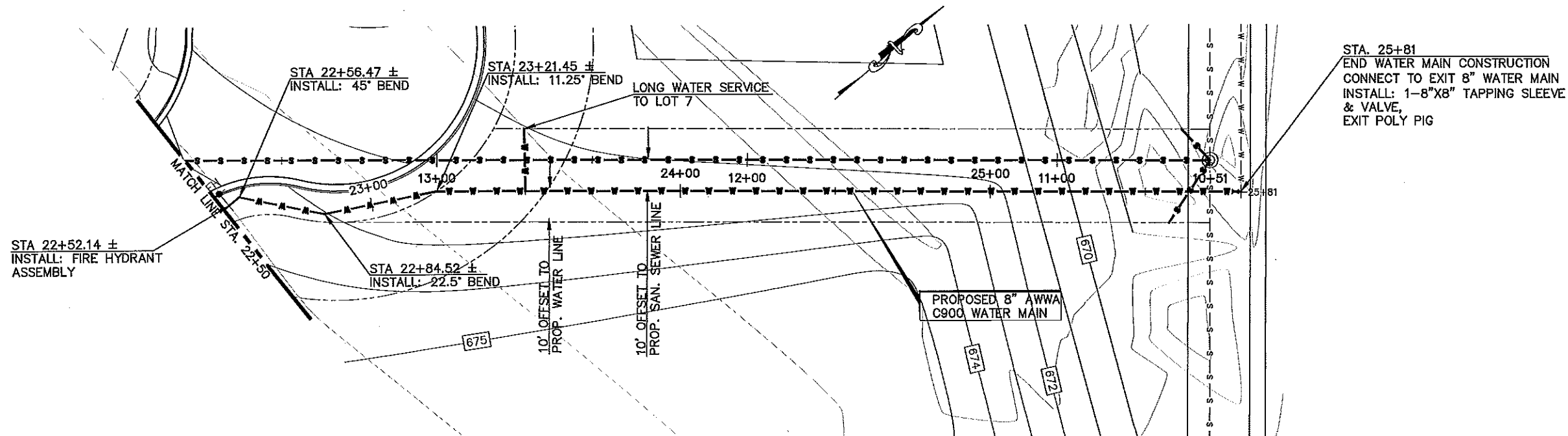
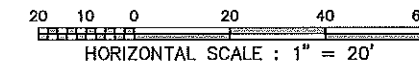


LEGEND

EXISTING	PROPOSED	DESCRIPTION
—s—s—	—●—●—	SANITARY SEWER
	MH⊙	MANHOLE
—w—w—	—■—■—	WATER MAIN
	FH⊕	FIRE HYDRANT
○		TREE
—p—p—		POWER
—o—o—		CHAINLINK FENCE
—x—x—		WIRE FENCE
—□—□—		STEEL PIPE FENCE
714	714	ELEVATION

- FOR ALL GENERAL NOTES SEE DRAWING 2.
- REMOVE ALL WATER TAPS ON THE EXISTING WATER MAIN AND RECONNECT TO NEW WATER MAIN. NEW MAIN SHALL PASS PRESSURE & PURITY TESTS PRIOR TO CONNECTING SERVICES. CUT, CAP, & ABANDON EXIST. WATER LINE IN PLACE
- ALL NEW WATER LINES SHALL BE CLEANED BY POLY PIG PRIOR TO WATER TESTING.
- PROVIDE DUCTILE IRON PIPE UNDER DRIVES. OPEN CUT AT ROCK DRIVES AND SLICK BORE AT CONCRETE & ASPHALT DRIVES, REFER TO DETAIL SHEETS.
- MAINTAIN 9' MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER & SEWER LINES.
- NO TREES LARGER THAN 4" CALIPER SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE.
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CP&Y, INC.

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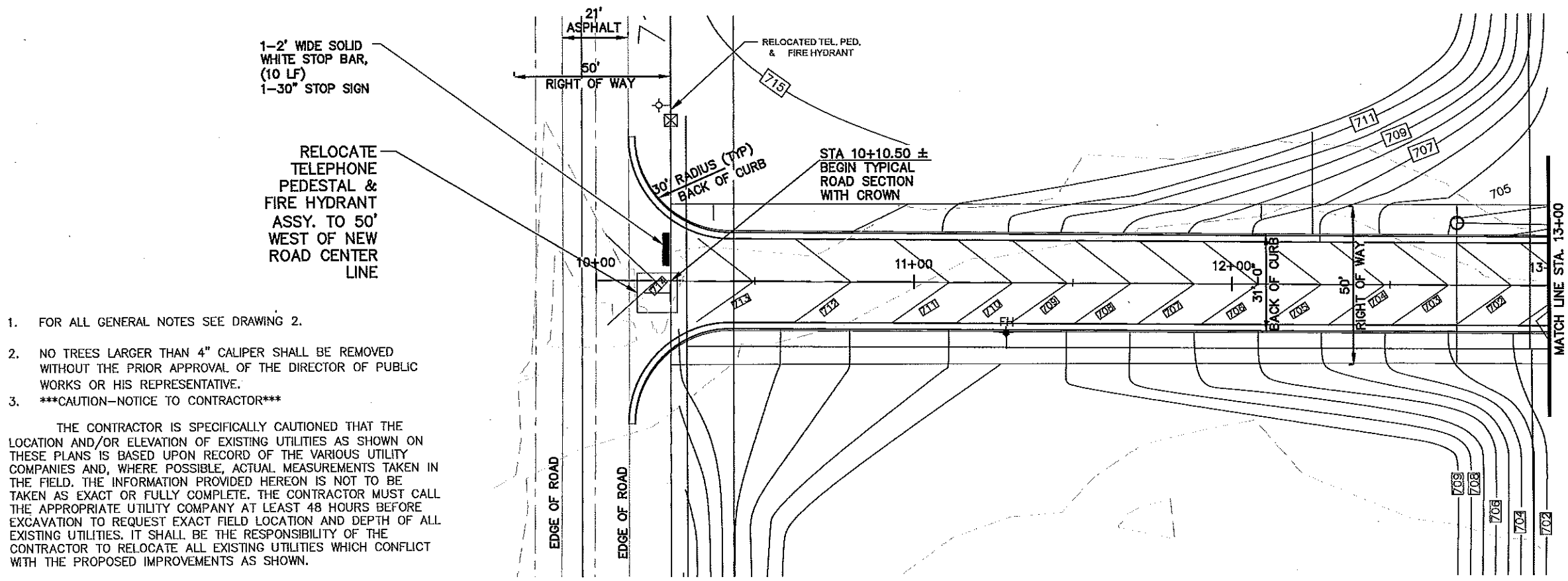
11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

REVISIONS	DATE	BY
BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.		
ONE INCH		

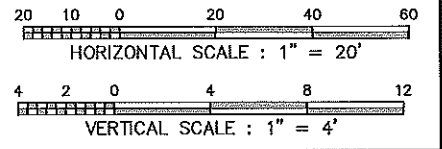
**WATER PLAN
FROM STA. 20+45
TO STA. 25+81**

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 13
REVIEWED BY GLB	



LEGEND

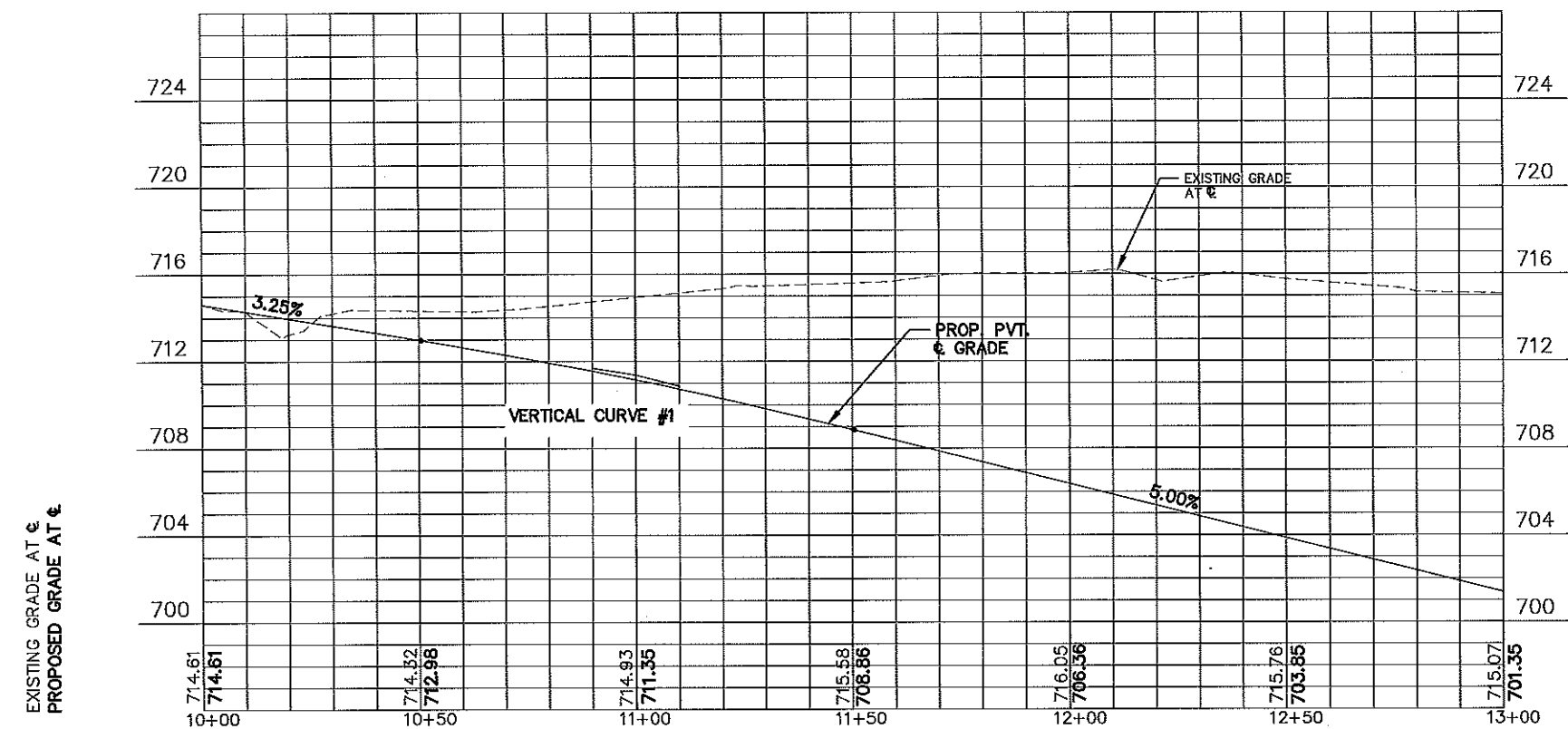
EXISTING	PROPOSED	DESCRIPTION
—	—	SANITARY SEWER
—	MH	MANHOLE
—	—	WATER MAIN
—	FH	FIRE HYDRANT
○	—	TREE
—	—	POWER
—	—	CHAINLINK FENCE
—	—	WIRE FENCE
—	—	STEEL PIPE FENCE
714	714	ELEVATION



- FOR ALL GENERAL NOTES SEE DRAWING 2.
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VERTICAL CURVE #1 DATA

STATION	ELEVATION		DESCRIPTION
	CURVE	POINT	
10+50	712.99		PVC
11+00	711.15	711.36	PVI
11+50	708.86		PVT
$\Delta =$		-1.75%	
$L =$		100'-0"	
$K =$		57.10	



REQUIREMENTS FOR RED BACKGROUND REGULATORY SIGNS
(STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)

REQUIREMENTS FOR FOUR SPECIFIC SIGNS ONLY

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	RED	TYPE B OR C SHEETING
BACKGROUND	WHITE	TYPE B OR C SHEETING
LEGEND & BORDERS	WHITE	TYPE B OR C SHEETING
LEGEND	RED	TYPE B OR C SHEETING

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11/06/17

HUDSON VILLAGE BUSINESS PARK

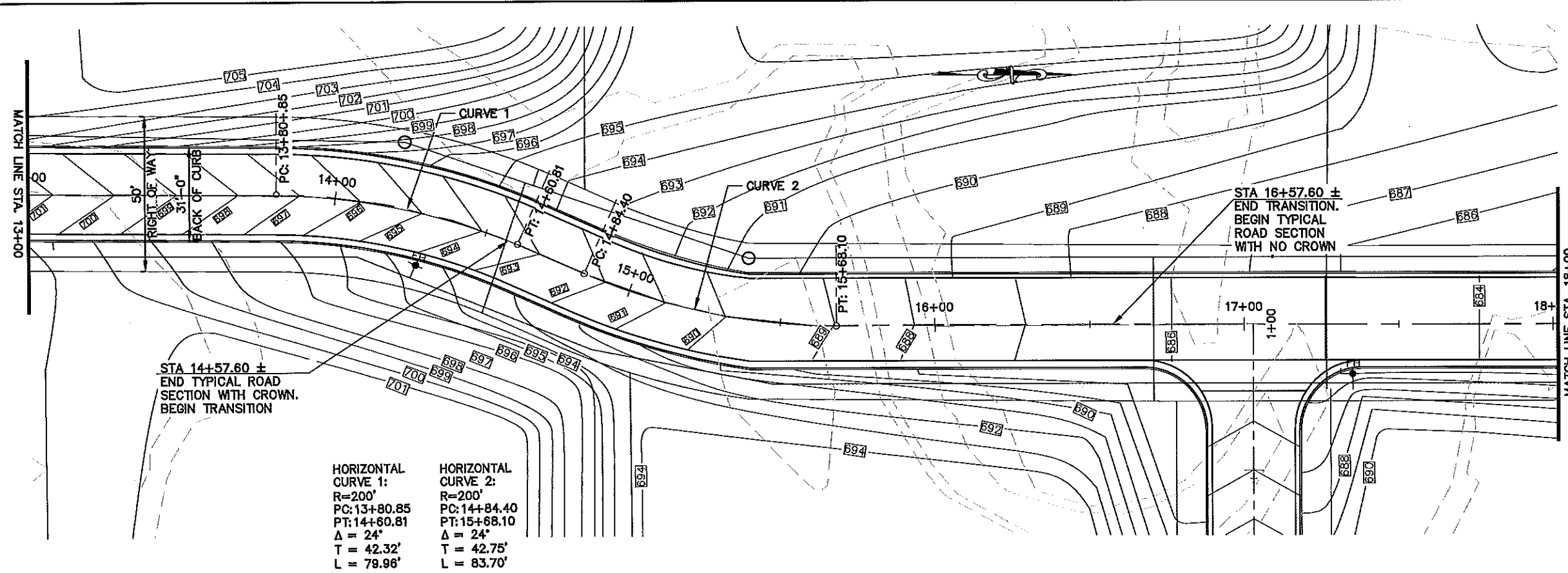
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

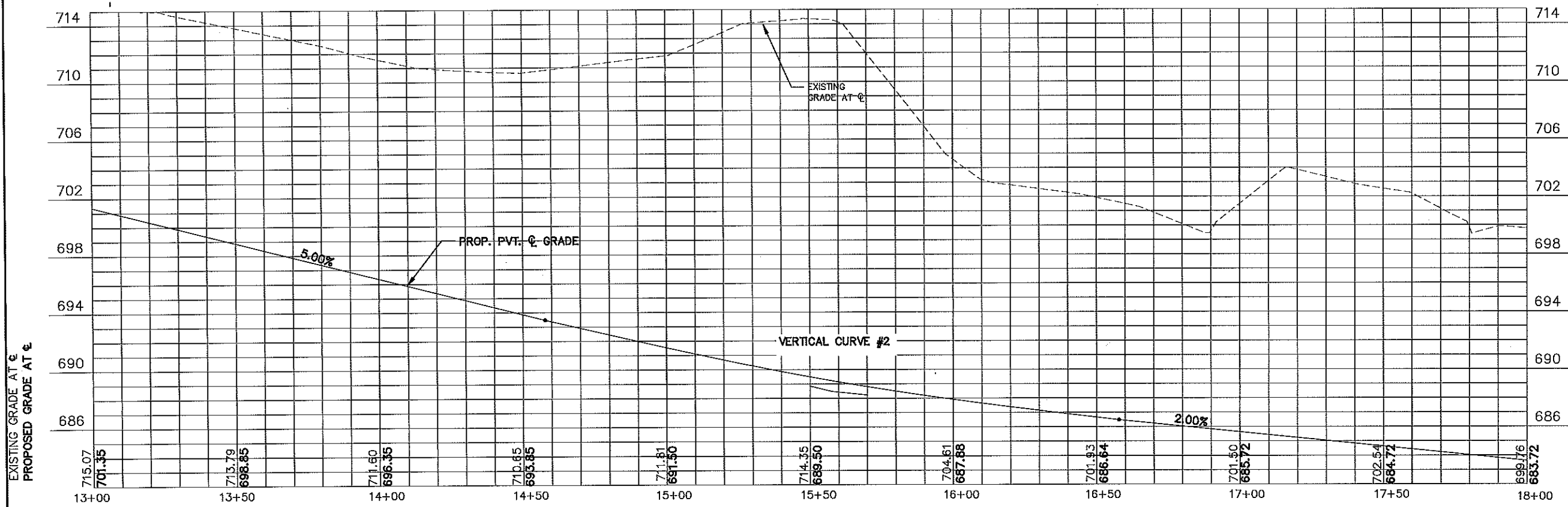
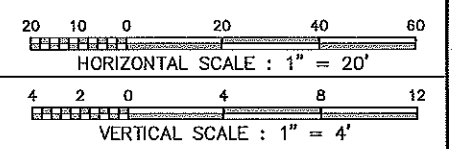
VILLAGE CREEK COURT
PLAN & PROFILE
FROM STA. 10+00
TO STA. 13+00

PROJECT MGR.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO.
REVIEWED BY GLB	14



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SANITARY SEWER
⊙	⊙	MANHOLE
---	---	WATER MAIN
+	+	FIRE HYDRANT
○	○	TREE
---	---	POWER
---	---	CHAINLINK FENCE
---	---	WIRE FENCE
---	---	STEEL PIPE FENCE
714	714	ELEVATION



CP&Y, INC.
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11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

REVISIONS

NO.	DATE	BY	DESCRIPTION

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

**VILLAGE CREEK COURT
PLAN & PROFILE
FROM STA. 13+00
TO STA. 18+00**

PROJECT MGR.
Gary L. Burton, III P.E.

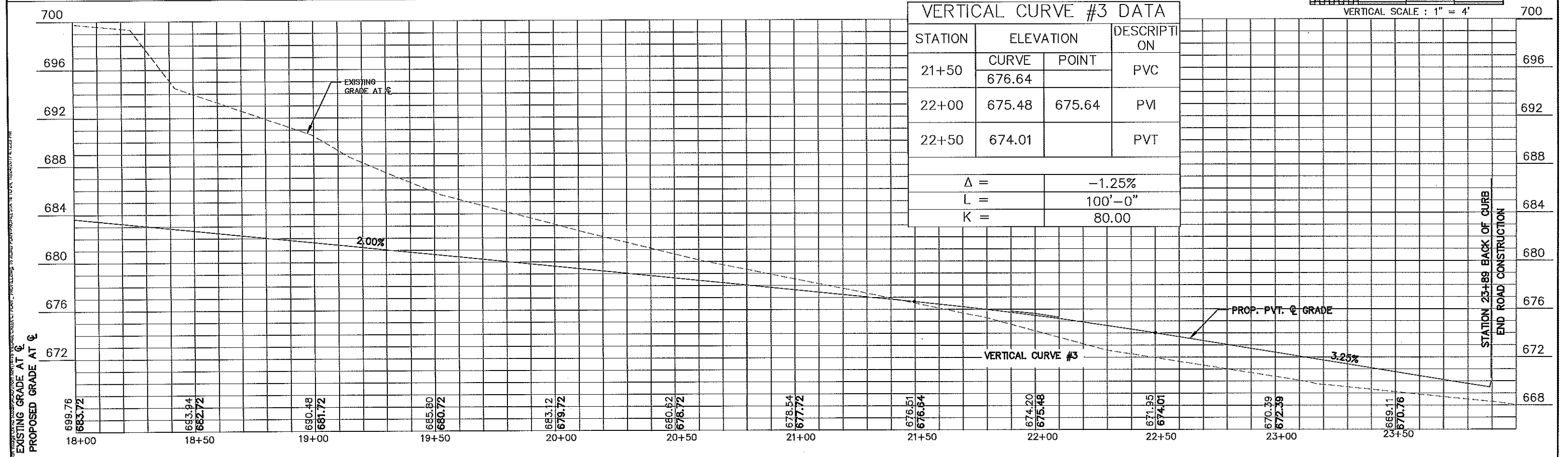
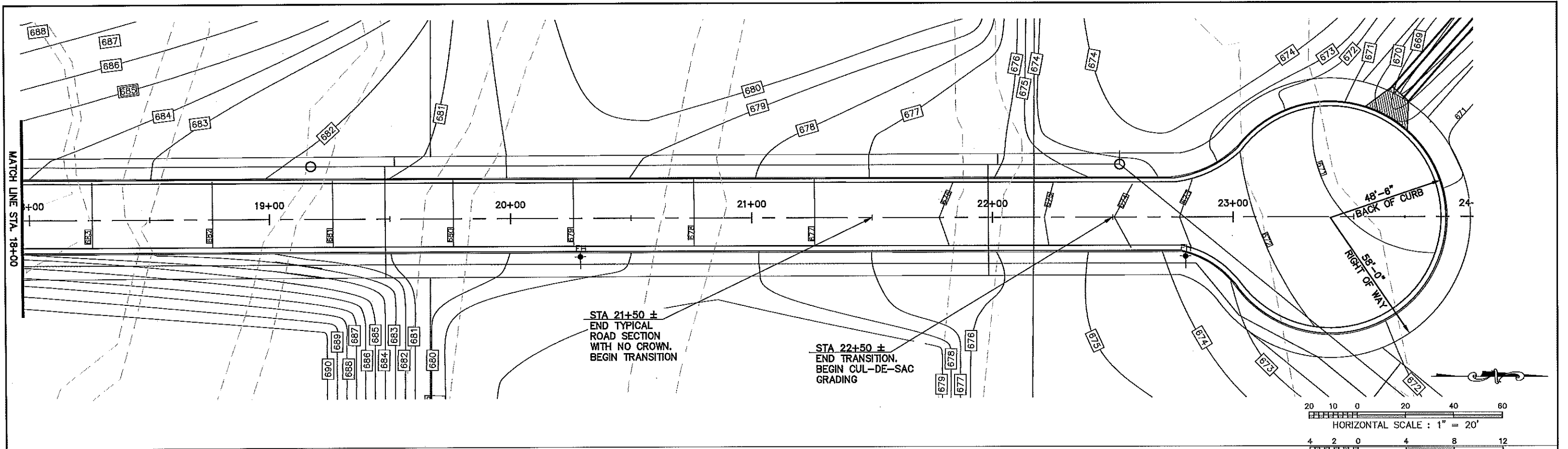
PROJECT TECH
SR

CHECKED BY
GLB

REVIEWED BY
GLB

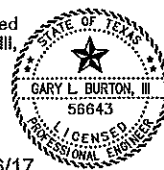
JOB NO.
048150101

DWG. NO.
15



CP&Y, INC.
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herein was authorized
by Gary L. Burton, III,
P.E. 56643



11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG.
CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

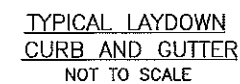
**VILLAGE CREEK COURT
PLAN & PROFILE
FROM STA. 18+00
TO STA. 23+89**

PROJECT MGR.
Gary L. Burton, III P.E.

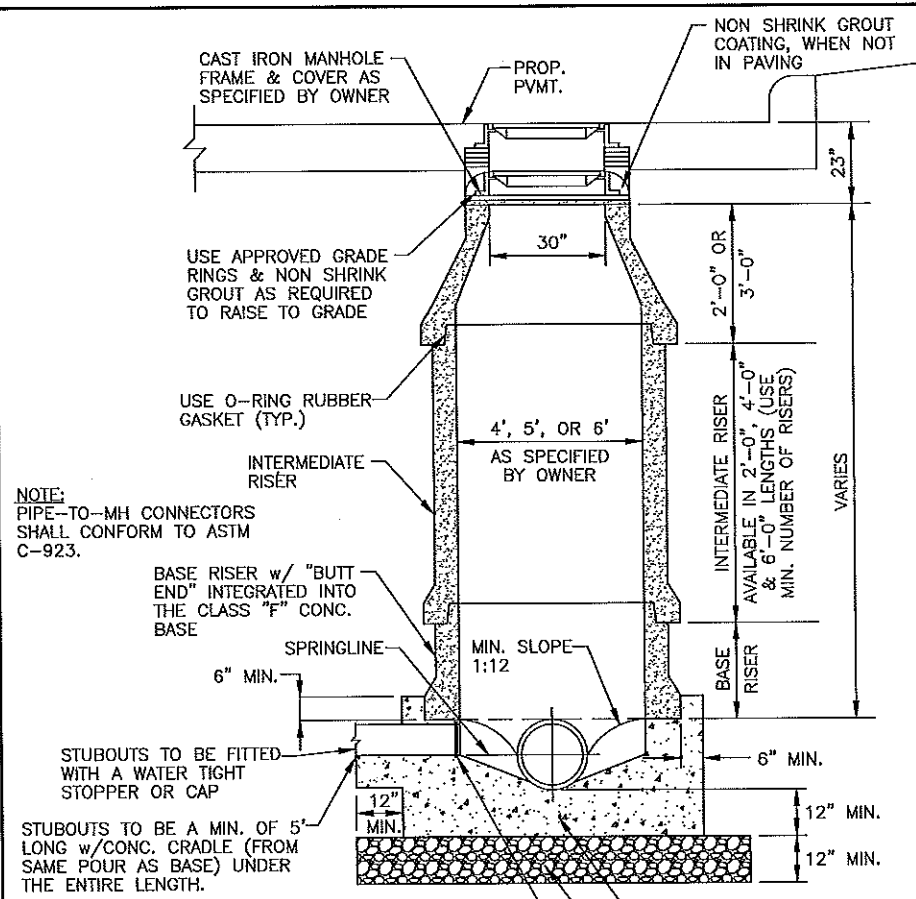
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 16
REVIEWED BY GLB	



PLACE INDIVIDUAL BAR SUPPORTS IN ROWS AT 3-FT MAXIMUM SPACING IN EACH DIRECTION.

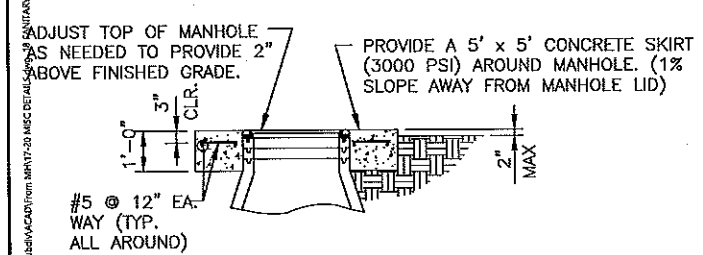


- NOTES:
- IN ADDITION TO THESE MISCELLANEOUS DETAILS REFER TO THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION. WHERE THERE IS A CONFLICT THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL HAVE PRECEDENCE.
 - WHERE WATER AND SEWER MAINS CROSS, A FULL JOINT OF PRESSURE TYPE SEWER PIPE MUST BE USED.
 - FOR GENERAL NOTES SEE DWG. 2.
 - USE OF EXCESS GRAVEL OR CRUSHED STONE DUE TO EXCESS TRENCH WIDTH OR DEPTH WILL BE AT CONTRACTOR'S EXPENSE AND MUST BE APPROVED BY OWNERS REPRESENTATIVE.
 - GRAVITY SEWER LINES SHALL BE PRESSURE-TESTED, MANDREL-TESTED, AND TV-INSPECTED PRIOR TO ACCEPTANCE. REPORTS OF TESTS SHALL BE FURNISHED BY CONTRACTOR ON FORMS PROVIDED BY ENGINEER. TV-INSPECTION REPORTS SHALL BE FURNISHED BY CONTRACTOR INCLUDING VIDEO OF INSPECTION ON CD.

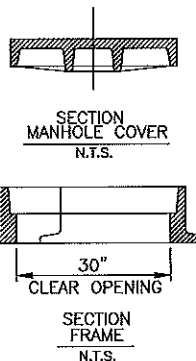
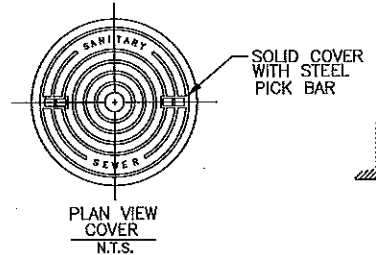


- NOTES:
- FIRST MAIN LINE JOINT TO BE A MIN. OF 5' LONG WITH CONCRETE CRADLE (FROM SAME POUR AS BASE) UNDER THE ENTIRE LENGTH.
 - IF FALSE M.H. BOTTOMS ARE REQUIRED, THEY SHALL BE CONSTRUCTED, INSTALLED AND REMOVED PER STD. DWG. NO. 5100.
 - WHERE M.H.'S ARE OUTSIDE OF PAVEMENT, FRAME & COVER SHALL BE CENTERED IN 5'x5' CONCRETE PAD CLASS "A" CONCRETE, 4" THICK.
 - M.H.'S TO BE COATED WITH MASTIC COATING ON THE OUTSIDE OF THE MH.
 - ALL M.H.'S NEED 30" RING AND COVER.

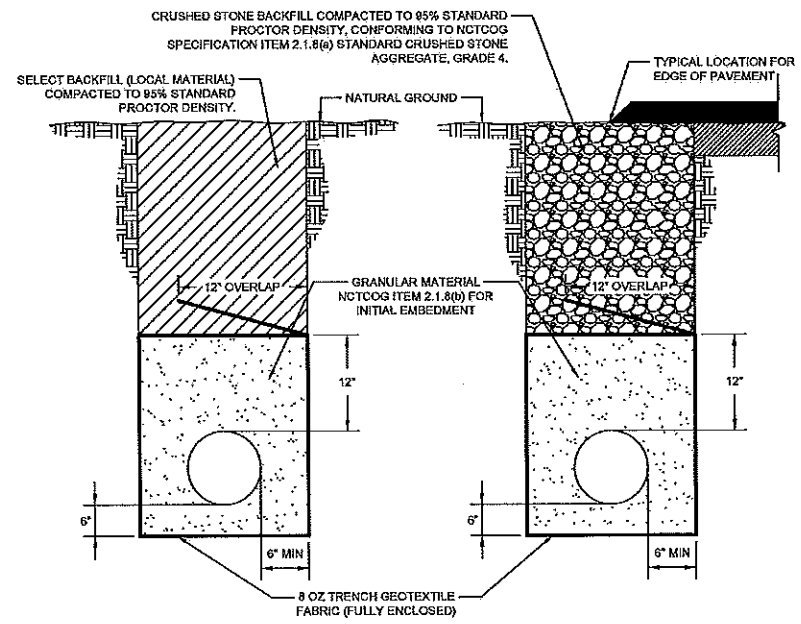
MANHOLE DETAIL
N.T.S.



MANHOLE CONCRETE SKIRT DETAIL
NOT TO SCALE



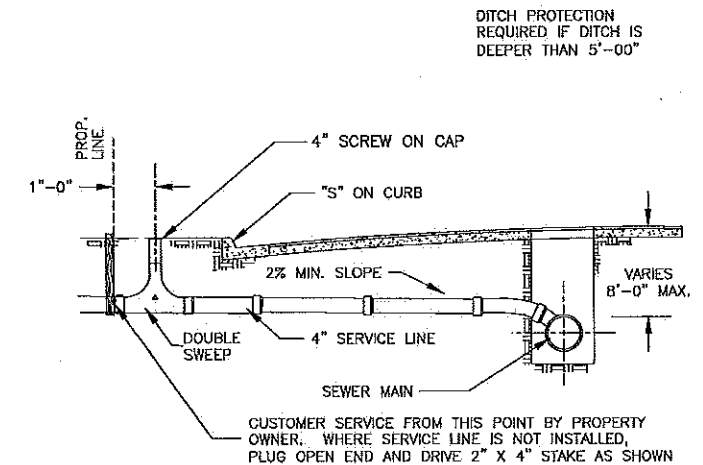
STANDARD C.I. FRAME & COVER
N.T.S.



- NOTES:
- PIPE MAY NOT BE FILLED ABOVE SPRING LINE UNTIL LOWER PORTION IS COMPACTED TO 95% STANDARD PROCTOR DENSITY. EMBEDMENT BELOW PIPE SHALL BE COMPACTED BEFORE PIPE IS LAID. BELL SHALL BE DUG OUT.
 - TRENCHES SHALL BE TESTED AT THE RATE OF ONE TEST PER 300 LINEAR FEET PER 12 INCH LIFT (LOOSE). TESTS SHALL BE STAGGERED SO THAT TESTS OF ADJACENT LIFTS ARE NOT DIRECTLY OVER THAT OF THE PREVIOUS LIFT, IF THE DISTANCE BETWEEN MANHOLES EXCEEDS 300 FT., A MINIMUM OF TWO TESTS SHALL BE REQUIRED.
 - EMBEDMENT WITHIN RIGHT-OF-WAY WILL BE USED WHEN INSTALLING UTILITY LINES WITHIN STREET RIGHT-OF-WAYS, AND UNDER PAVEMENT. ALL OTHER INSTALLATION LOCATIONS, SUCH AS EASEMENTS OR CROSS COUNTRY LOCATIONS WILL COMPLY WITH STANDARD EMBEDMENT DETAILS.
 - THE STANDARD EMBEDMENT DETAIL RELATES TO INSTALLATION OUT FROM UNDER PAVEMENT OR ROADWAY BASE SUCH AS CROSS-COUNTRY EASEMENTS AND PARKWAYS OR AT LOCATIONS NOT SUBJECT TO PROPOSED STREET PAVEMENT

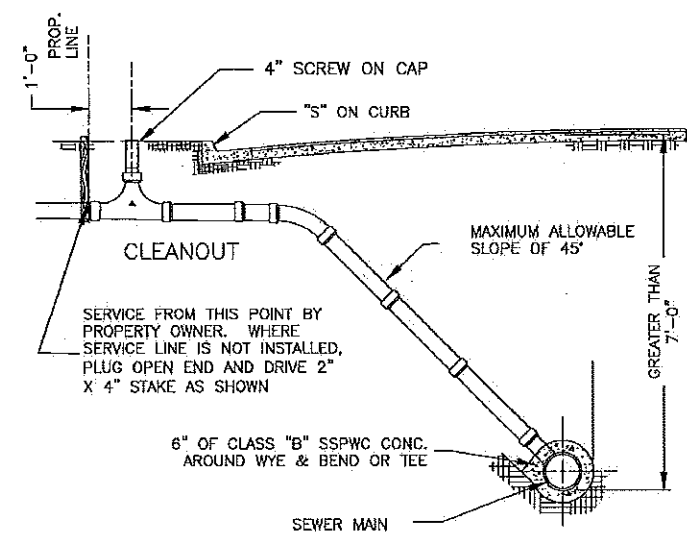
TYPICAL TRENCH DETAIL
NOT TO SCALE

- NOTES:
- MANHOLE FRAMES AND COVERS SHALL BE AS MANUFACTURED BY VULCAN INDUSTRIES OR APPROVED EQUAL.
 - PROVIDE TYPE OF FRAME AND COVER SUITABLE FOR THE INTENDED SERVICE, 300# MIN. (I.E. HEAVY OR STANDARD DUTY SERVICE)



- NOTES:
- EITHER WYE OR SADDLE MAY BE USED FOR CONNECTION.
 - MINIMUM COVER OVER SANITARY SEWER SERVICE PIPE IS 24" BELOW SUBGRADE OR AS REQUIRED TO SERVICE CUSTOMER.
 - SANITARY SEWER SERVICE LINE LOCATION TO BE MARKED WITH RED VINYL TAPE AT LEAST 3" WIDE AND 10 MIL. THICK ATTACHED TO THE END OF THE SERVICE AND EXTENDING THROUGH THE BACKFILL AT THE POINT OF HOUSE SERVICE CONNECTION BEHIND THE CURB.
 - SANITARY SEWER SERVICE CONNECTIONS TO 7'-0" ARE "STANDARD" SERVICE CONNECTIONS. "DEEP" SERVICE CONNECTIONS APPLY WHEN MAIN IS DEEPER THAN 7'-0".
 - 4" SERVICELINE SHALL BE SCH-40 PVC PIPE AND FITTINGS.
 - IF USING A SADDLE, ENCASE IN CONCRETE.
 - CLEANOUTS SHALL HAVE CAST IRON CAP WITH TWO (2) STAINLESS STEEL BOLTS AND CENTERED IN 2'x2' CONCRETE PADS FLUSH AT GROUND LEVEL.

SHALLOW SEWER SERVICE DETAIL
N.T.S.



- NOTES:
- WYE OR SADDLE MAY BE USED FOR CONNECTION.
 - MINIMUM COVER OVER SEWER SERVICE PIPE IS 24" BELOW SUBGRADE.
 - SEWER SERVICE LINE LOCATION TO BE MARKED WITH VINYL TAPE AT LEAST 3" WIDE AND 10 MIL. THICK ATTACHED TO THE END OF THE SERVICE AND EXTENDING THROUGH THE BACKFILL AT THE POINT OF HOUSE SERVICE CONNECTION BEHIND THE CURB.
 - DITCH PROTECTION REQUIRED.
 - 4" SERVICE LINE SHALL BE SCH-40 PVC PIPE AND FITTINGS.
 - IF USING A SADDLE, ENCASE IN CONCRETE.
 - CLEANOUTS SHALL HAVE CAST IRON CAP WITH TWO (2) STAINLESS STEEL BOLTS AND CENTERED IN 2'x2' CONCRETE PADS FLUSH AT GROUND LEVEL.

DEEP SEWER SERVICE DETAIL
N.T.S.

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

HUDSON VILLAGE
BUSINESS PARK

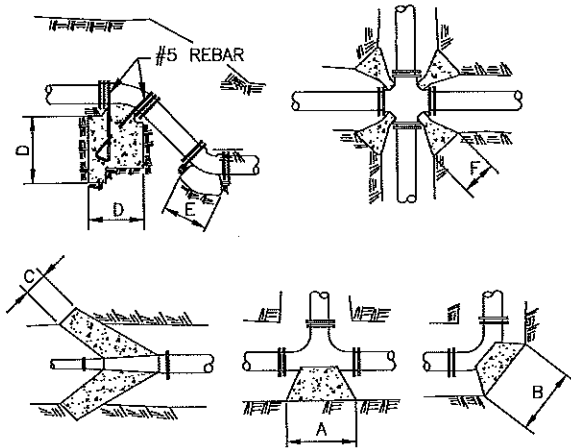
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

MISC. DETAILS
SANITARY SEWER

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 18
REVIEWED BY GLB	



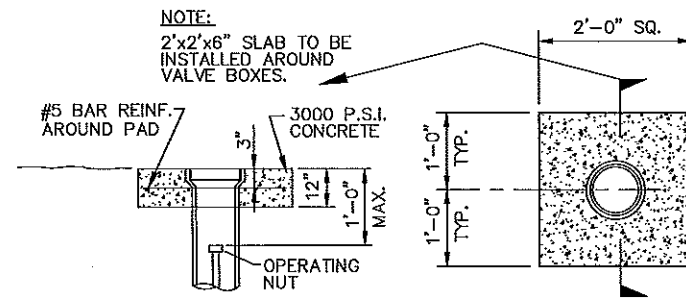
NOTE:
ALL CONCRETE TO BE CLASS "B" POURED AGAINST UNDISTURBED SOIL. CONCRETE OR "SAKRETE" MUST BE THOROUGHLY MIXED WITH WATER TO A SLUMP OF 6-9. LEAVING DRY MIX IN SACKS IS NOT ACCEPTABLE.

THRUST BLOCK DETAILS N.T.S.

MINIMUM THRUST BLOCK DIMENSIONS (INCHES)						
PIPE SIZE	A	B	C	D	E	F
4"	12	18	10	24	12	12
6"	18	20	12	26	18	18
8"	22	26	14	29	21	22
10"	28	34	18	35	25	28
12"	34	40	20	42	30	34
16"	44	48	24	56	44	48

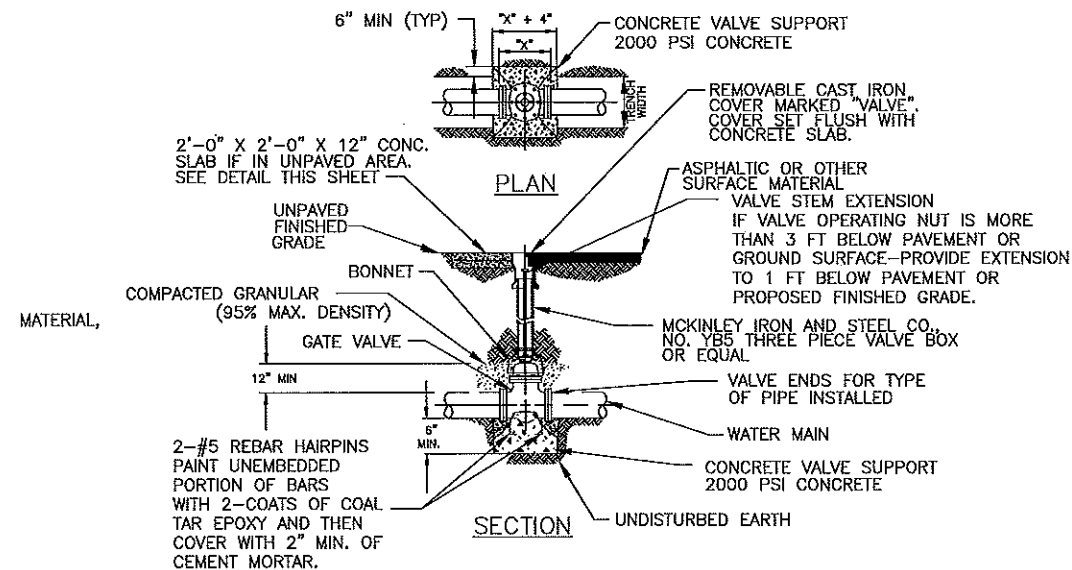
NOTES ON THRUST BLOCKING

- ALL BLOCKING SHALL BE AGAINST UNDISTURBED HAND DUG SOIL AND CONCRETE SHALL HAVE A MIN. 25 DAY STRENGTH OF 2000 PER SQ. IN.
- THRUST CALCULATIONS TO BE BASED ON THRUST DUE TO WATER PRESSURE AT 100% OF TEST PRESSURE. $THRUST = 2 AP \sin 1/2 \phi$: WHERE A= AREA OF PIPE, P= WATER PRESSURE. (SEE GENERAL DATA THIS DRAWING.)
- VERTICAL UPLIFT BLOCKS SHALL BE DESIGNED ON THE BASIS OF 150 LBS. PER CU. FT. FOR CONCRETE AND SOIL AT 120 LBS. PER CU. FT. OVER THE AREA OF BLOCK.
- VERTICAL DOWN THRUST BLOCKS SHALL BE DESIGNED ON THE BASIS OF 2000 PER SQ. FT. ALLOWABLE SOIL BEARING PRESSURE. DIMENSIONS MAY BE DECREASED WITH APPROVAL OF THE ENGINEER IF MEASURED SOIL CONDITIONS PERMIT. IN POOR SOIL CONDITIONS, BLOCK DIMENSIONS SHALL BE INCREASED IN PROPORTION TO THE ALLOWABLE BEARING VALUE.
- THRUST BLOCKS ON HORIZONTAL BENDS, TEES, CROSSES AND REDUCERS SHALL BE SIZED BASED ON 2400 LBS. PER SQ. FT. OF BLOCKING SURFACE AREA IN CONFLICT WITH UNDISTURBED SOIL. BLOCK DIMENSIONS MAY BE DECREASED WITH APPROVAL OF THE ENGINEER IF MEASURED SOIL CONDITIONS PERMIT. IN POOR SOIL CONDITIONS, BLOCK DIMENSIONS SHALL BE INCREASED IN PROPORTION TO THE ALLOWABLE BEARING VALUE.
- ALL BLOCKING SHALL HAVE A MINIMUM SOIL COVER OF 1 FT.
- ADDITIONAL REINFORCING MAY BE REQUIRED FOR HORIZONTAL BLOCKING TO HANDLE UNUSUAL SHEAR LOADING CONDITIONS.
- ANCHOR COLLARS SHALL BE REINFORCED IN ACCORDANCE WITH REINFORCING BAR SCHEDULE FOR REDUCED BLOCKS SHOWN ABOVE. STEEL ANCHOR RING IN ACCORDANCE WITH DIMENSIONS ANCHOR COLLAR.



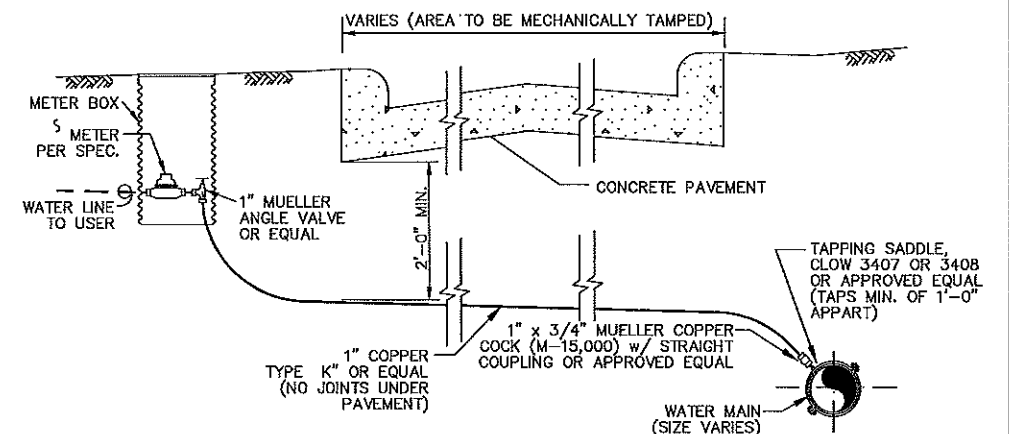
NOTE:
2'x2'x6" SLAB TO BE INSTALLED AROUND VALVE BOXES.

VALVE BOX SLAB N.T.S.

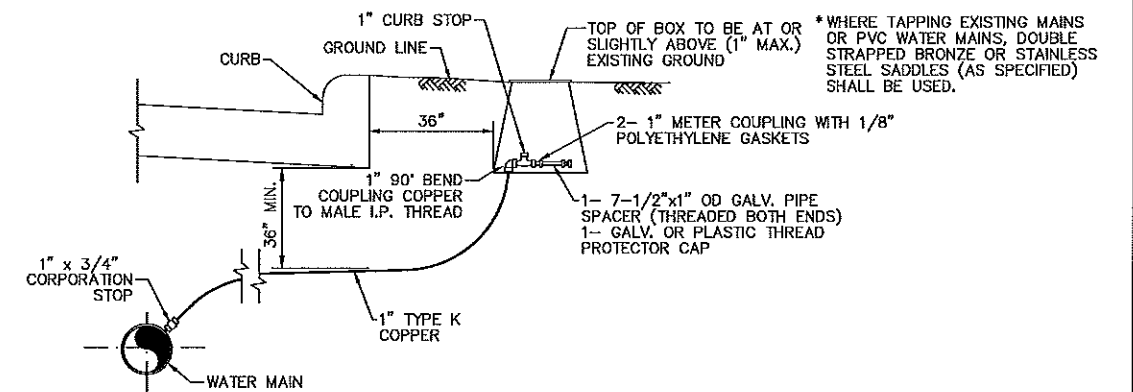


- NOTES:**
- ALL BURIED VALVES SHALL BE PROVIDED W/EXTENSION STEM OPERATOR W/ 2" SQ. AWWA NUT WITHIN 1' BELOW FINISHED GRADE. NUT IS TO INDICATE DIRECTION OF ROTATION TO OPEN VALVE.
 - COAT BURIED PIPE & VALVE BOX PER SPECIFICATIONS. WRAP WITH 8 MIL. POLYETHYLENE.
 - CLEAN VALVE BOX OF ALL DEBRIS AND SOIL.
 - VALVE SIZE & TYPE AS SHOWN ON PLANS.

TYPICAL VALVE, VALVE BOX AND EXTENSION INSTALLATION DETAIL N.T.S.



TYPICAL WATER SERVICE DETAIL NOT TO SCALE



TYPICAL WATER SERVICE DETAIL NOT TO SCALE

NOTE:
FINAL INSTALLATION IS SHOWN. AFTER THE SERVICES HAVE BEEN INSTALLED BUT PRIOR TO PLACEMENT OF METER BOXES, THE END OF EACH SERVICE SHALL BE MARKED WITH POLYETHYLENE FILM AND A 2"x4"x2'-6" LONG STACK PAINTED GREEN AND WHITE. AFTER STREET CONSTRUCTION IS COMPLETE AND THE PARKWAY GRADED, THE WATER AND SEWER CONTRACTOR SHALL INSTALL A METER BOX OVER THE END OF EACH SERVICE. WATER METER BOXES WILL BE FURNISHED BY OWNER.

NOTES:

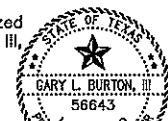
- IN ADDITION TO THESE MISCELLANEOUS DETAILS REFER TO THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION. WHERE THERE IS A CONFLICT THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL HAVE PRECEDENCE.
- WHERE WATER AND SEWER MAINS CROSS, A FULL JOINT OF PRESSURE TYPE SEWER PIPE MUST BE USED.
- FOR GENERAL NOTES SEE DWG. 2.
- USE OF EXCESS GRAVEL OR CRUSHED STONE DUE TO EXCESS TRENCH WIDTH OR DEPTH WILL BE AT CONTRACTOR'S EXPENSE AND MUST BE APPROVED BY OWNERS REPRESENTATIVE.
- WATER LINES SHALL BE DISINFECTED AND PRESSURE-TESTED PRIOR TO ACCEPTANCE. REPORTS OF TESTS SHALL BE FURNISHED BY CONTRACTOR ON FORMS PROVIDED BY ENGINEER.
- VALVES AND F.H.'S NEED TO BE BROUGHT UP TO 5' OF PROPOSED GRADE.

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

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The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

**HUDSON VILLAGE
BUSINESS PARK**

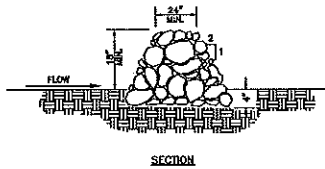
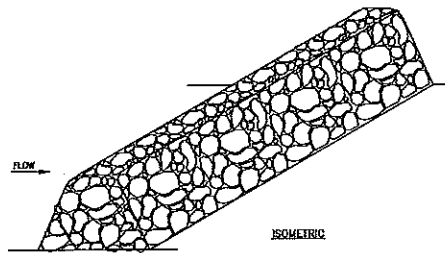
REVISIONS	DATE	BY

BAR IS ONE INCH IN LENGTH ON ORIGINAL DWG. CHECK SCALE AND ADJUST ACCORDINGLY.

ONE INCH

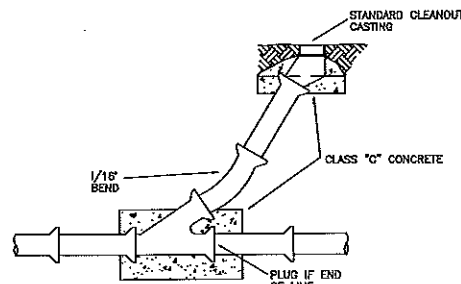
**MISC. DETAILS
WATER**

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 19
REVIEWED BY GLB	

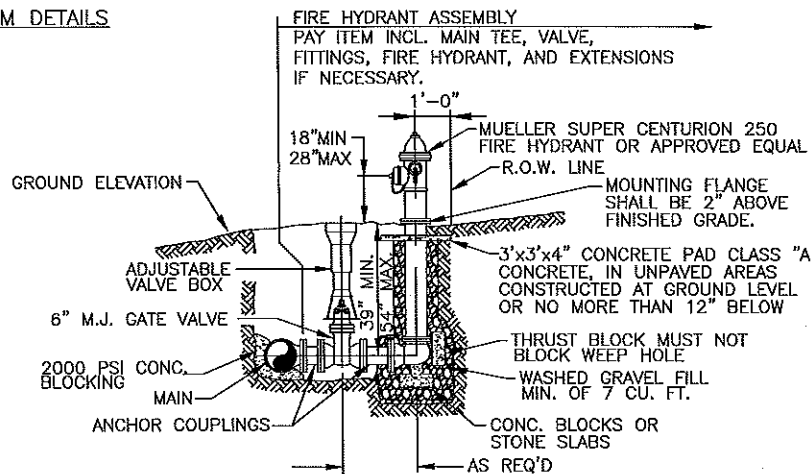


ROCK BERM DETAILS

1. USE ONLY OPEN-DRAINED ROCK, WITH MOST OF THE FINES REMOVED.
2. STONE SHALL BE CHANGED, MIN. 3" DIAMETER, MAX. 1 CU. YD. IN VOLUME.
3. THE ROCK BERM SHALL BE DISPOSED INTO THE SOIL A MINIMUM OF 4 INCHES.
4. DISPOSED BERM AFTER EACH PASS. REPLACE STONE WHEN THE STRUCTURE FAILS TO STAY IN PLACE DUE TO SOIL ACCUMULATION, WASHOUT OR DAMAGE.
5. REMOVE SOIL WHEN IT REACHES A DEPTH OF 12 INCHES, OR ONE-THIRD OF THE HEIGHT OF THE BERM, WHICHEVER IS LESS, IN APPROVED LOCATIONS.
6. REMOVE BERM ONLY WHEN SITE IS COMPLETELY STABILIZED.



CLEANOUT DETAIL



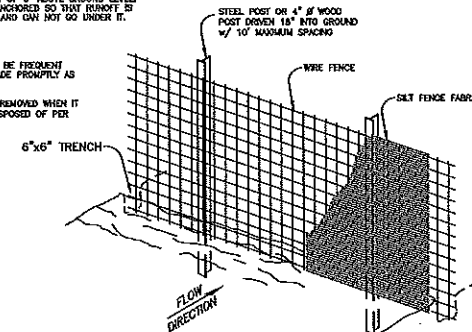
TYPICAL FIRE HYDRANT INSTALLATION

STEPS FOR CONSTRUCTION

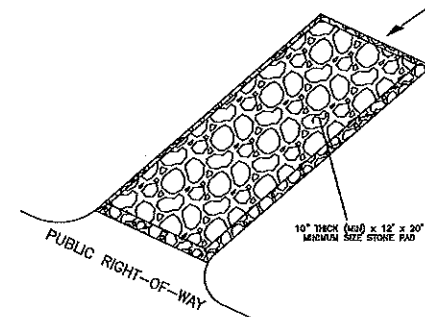
- 1) DRIVE POST 18" INTO GROUND AND EXCAVATE A 6"x6" TRENCH UPWARD ALONG THE LINE OF POST.
- 2) ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 8" INTO THE EXCAVATED TRENCH.
- 3) ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 8" INTO THE TRENCH.
- 4) BACKFILL THE TRENCH WITH SOIL, AND COMPACT OR PLACE WASHED STONE TO THE HEIGHT OF 8" ABOVE GROUND LEVEL. BOTTOM OF FENCE MUST BE ANCHORED SO THAT MINIMUM 8" FORCED THROUGH THE FENCE AND CAN NOT GO UNDER IT.

INSPECTION & MAINTENANCE

- 1) INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
- 2) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 8" AND DISPOSED OF PER OWNER/OWNER'S.



SILT FENCE DETAIL



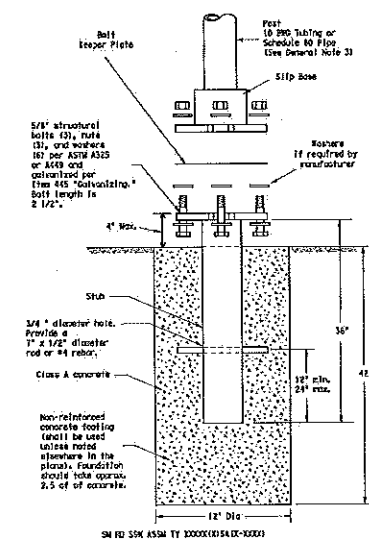
TEMPORARY CONSTRUCTION EXIT POINT DETAIL

CONSTRUCTION NOTES

- 1) GRAVATION OF ROCK
- 2) THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 3) WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH GRAVELLED STONE WHICH DRAINAGE INTO AN AREA BEYOND CONTROLLING STRUCTURE. USE SAND BAGS, GRAVEL, BRUSHES OR OTHER APPROVED METHODS TO PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE.
- 4) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

SIZE OF ROCK	BY WEIGHT
1/2"	100
3/4"	300
1"	500

TRIANGULAR SLIPBASE INSTALLATION GENERAL REQUIREMENTS



NOTE

There are various devices approved for the Triangular Slipbase System. Please reference the Material Producer List for approved slip base systems. http://www.txdot.gov/business/producer_list.htm The devices shall be installed per manufacturer's recommendations. Installation procedures shall be provided to the Engineer by Contractor.

GENERAL NOTES

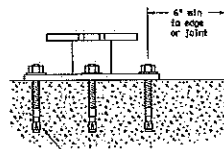
1. Slip base shall be permanently marked to indicate manufacturer, method, design, and location of marking are subject to approval of the TxDOT District Engineer.
2. Material used as part with this system shall conform to the following specifications:
 - 6.134" nominal wall thickness
 - Seamless or electrically-resistance welded steel tubing or pipe
 - Steel shall be A501 or 55 per ASTM A501 or ASTM A509
 - Other steels may be used if they meet the following:
 - 35,000 PSI minimum yield strength
 - 30,000 PSI minimum tensile strength
 - 20% minimum elongation in 2"
 - 8.011" nominal wall thickness
 - Seamless or electrically-resistance welded steel tubing or pipe with equivalent outside diameter and wall thickness may be used if they meet the following:
 - 46,000 PSI minimum yield strength
 - 62,000 PSI minimum tensile strength
 - 20% minimum elongation in 2"
 - 8.011" nominal wall thickness
 - Steel tubing per ASTM A509 or C
 - Other seamless or electrically-resistance welded steel tubing or pipe with equivalent outside diameter and wall thickness may be used if they meet the following:
 - 46,000 PSI minimum yield strength
 - 62,000 PSI minimum tensile strength
 - 20% minimum elongation in 2"
3. See the TxDOT Operations Division website for detailed drawings of sign bases and Texas Universal Triangular Slipbase System components. The website address is: http://www.txdot.gov/business/producer_list.htm
4. Sign supports shall not be applied except where shown. Sign support posts shall not be applied.

ASSEMBLY PROCEDURE

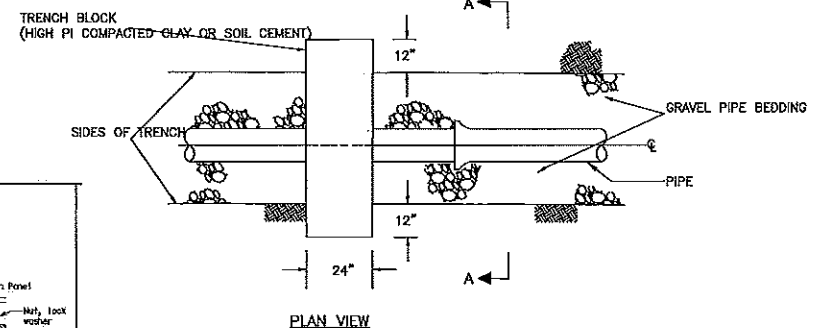
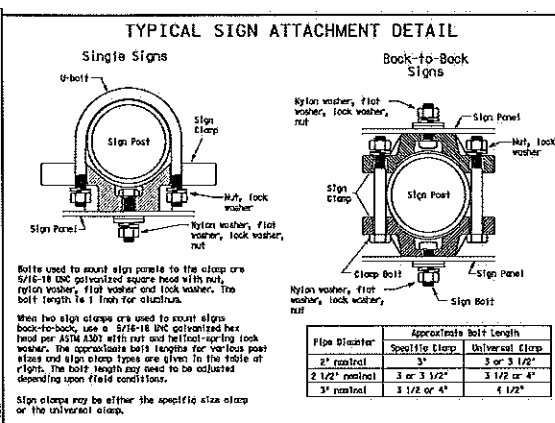
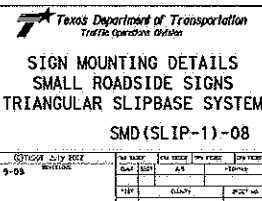
1. Prepare 12-inch diameter by 42-inch deep hole. If no rock is encountered, the depth of the foundation may be reduced such that it is placed a minimum of 18 inches into the solid rock.
2. The Engineer may permit use of concrete less than 5 cubic yards to be placed with a portable, motor-driven concrete pump. For all placements less than 5 cubic yards, hand placing in a suitable container may be allowed by Engineer. Concrete shall be Class A.
3. Place the pipe end of the slip base into the center of the concrete. Rotate the slip base and forth while pouring it down into the concrete to ensure good contact between the concrete and steel. Continue to work the steel into the concrete until it is between 2 to 4 inches above the ground.
4. Push the steel. After a minimum of 4 days to set, unless otherwise directed by the Engineer.
5. The triangular slipbase system is multifunctional and is designed to release when struck from any direction.

1. Support
 - a. Support so that the bottom of the sign will be 7 to 7.5 feet above the edge of the travelway (i.e., edge of the closest lane) when the sign is in place or 7 to 7.5 feet above slip base when the slip base is above the edge of the travelway. The cut shall be plus and straight.
2. Attach sign to support using connections shown. When multiple signs are installed on the same support, ensure the minimum clearance between each sign is maintained. See SMD(SLIP-2) for clearances based on sign types.

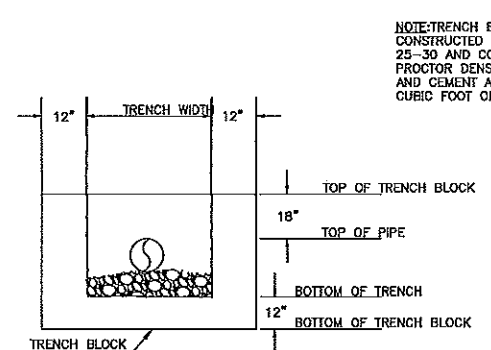
CONCRETE ANCHOR



Concrete anchor consists of 5/8" diameter steel bolt with 1/2" diameter hole threaded on the upper end. Heavy hex nut per ASTM A307, and hardened washer per ASTM F155. The steel bolt shall have a minimum yield and ultimate tensile strength of 60 and 75 ksi, respectively. Nuts, bolts and washers shall be galvanized per ASTM A153. "Adhesive" type anchors shall be used when the slip base is installed in concrete. Adhesive anchors shall be installed after concrete cures time per the manufacturer's recommendations. Top of bolt shall extend at least flush with top of the nut when installed. The anchor, when installed in 4000 psi normal-weight concrete with a 5/8" diameter hole, shall have a minimum allowable tensile and shear of 3900 and 3100 psi, respectively.



PLAN VIEW



SECTION A-A

TRENCH BLOCK DETAIL NOT TO SCALE

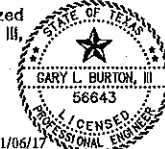
NOTE: TRENCH BLOCK SHALL BE CONSTRUCTED OF CLAY WITH P.I. OF 25-30 AND COMPACTED TO 95% STD. PROCTOR DENSITY, OR A MIXTURE OF SOIL AND CEMENT AT 7.5 LBS. OF CEMENT PER CUBIC FOOT OF SOIL.

CP&Y, INC.

DBA GARY BURTON ENGINEERING (F-1741)

14531 HWY. 155 S TYLER, TEXAS 75703 PH. (903) 561-6984 FAX (903) 561-6757

The electronic seal herein was authorized by Gary L. Burton, III, P.E. 56643



11/06/17

HUDSON VILLAGE BUSINESS PARK

REVISIONS	DATE	BY

ON-SITE DETAILS

PROJECT MGR. Gary L. Burton, III P.E.	
PROJECT TECH SR	JOB NO. 048150101
CHECKED BY GLB	DWG. NO. 20
REVIEWED BY GLB	

Date: January 12, 2018

Agenda Item No: REGULAR ITEMS (B)

I. SUBJECT

CASE # PZ 17-11 Consider approval of a Minor Change to the PD Concept Plan for the Glen of Village Creek as it pertains to a change in the location of the subdivision perimeter wall/fence and landscaping.

II. SUMMARY

This staff report describes the current status of the property, the requirements for approval, and the staff recommendation.

The Planned Development District (PD) zoning and concept plan and preliminary and final plats for the new residential subdivision, Glen of Village Creek, were each approved in 2016. The original concept plan identified a specific plan for the subdivision perimeter fencing and landscaping along Bowman Springs Road. The original concept plan (Ordinance 587) was changed with respect to the main entrance to the subdivision due to grading changes (Ordinance 598). Construction of all public infrastructure is complete and the residential lots are being prepped for homes to be built.

The current developer of the subdivision would like to change the location of the perimeter fence due to concerns of privacy and screening of homes along Bowman Springs Road. UDC Article 27 provides for minor changes to approved PD Concept Plans as follows:

Section 27.8 Amendments

Changes to an approved PD Concept Plan or deviations shown on a PD Final Site Plan shall be permitted only under the following circumstances:

- A. **Minor Changes.** A minor change may be approved by the Administrator, according to the requirements of this section. A change that would alter any specified conditions imposed as part of the original approval shall not be considered as a minor change.
1. Reduction of the size of any building and/or sign.
 2. Movement of buildings or signs by no more than 20 feet, provided setbacks are not reduced.
 3. Landscaping approved in the final development plan that is replaced by similar landscaping to an equal or greater extent.
 4. Changes in floor plans of up to 10 percent of the total floor area that do not alter the character of the use or increase the amount of required parking.
 5. Internal rearrangement of a parking lot that does not affect the number of parking spaces, access locations, or design.

6. Changes required or requested by the city, state, or federal regulatory agency to conform to laws or regulations.
- B. **Other Minor Changes.** A minor change that is not listed in Paragraph A (above) may be submitted to the Planning and Zoning Commission to determine if the change is minor in scope and/or effect and that the change would not alter the basic design or intent of the approved PD. If Planning and Zoning Commission determines that the proposed change is minor, the Administrator shall be authorized to approve it administratively.
- C. **Major Changes.** A change that either the Administrator or Planning and Zoning Commission determines is not minor must be submitted as an amendment to the PD in the same manner as the original PD application.

This request is pursuant to the provision under subsection B (above) where the Planning and Zoning Commission can determine if the request for the change is considered minor and the concept plan is consistent with the original plan.

Staff recommends approval of the proposed changes to the location of the perimeter wall and landscaping as a minor change since it meets the intent of the original concept plan and is similar to the examples of minor changes listed under Subsection A (above).

ACTION BY THE PLANNING & ZONING COMMISSION

Approval: Based on the information presented, I find that the request meets city requirements and is in compliance with the UDC and make a motion to approve the request for a Minor Change for the PD Concept Plan.

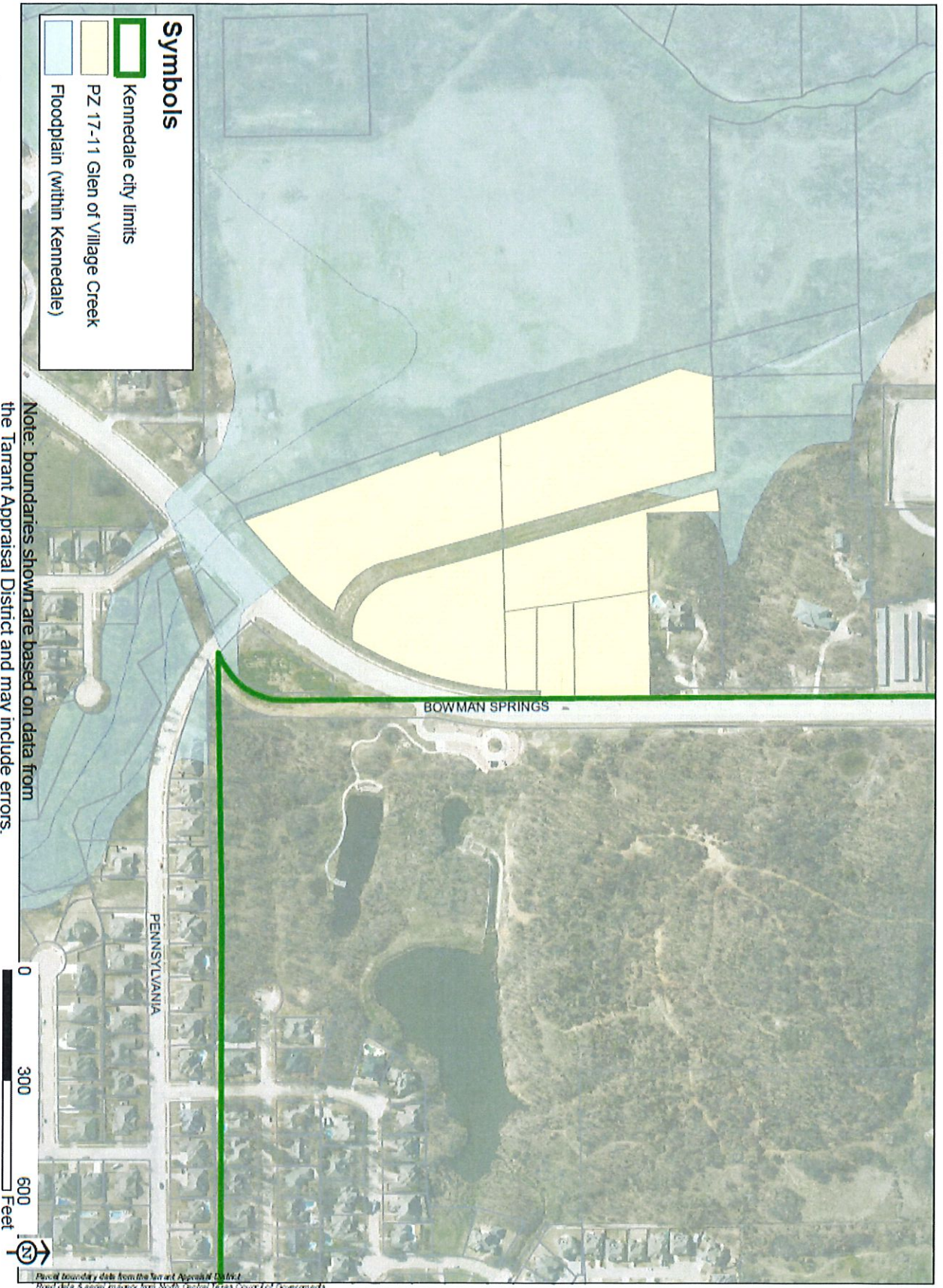
Approval with Conditions: Based on the information presented, I find that the request meets city requirements and is in compliance with the UDC and make a motion to approve the request for a Minor Change of the PD Concept Plan with the following conditions [list conditions].

Deny: Based on the information presented, I find that the proposed request for a Minor Change to the PD Concept Plan does not meet the standards for a Minor Change [list standards or requirements not met] and make a motion to deny the request.

ATTACHMENTS

1. Location Map
2. Original PD Ordinance and Concept Plan (Ordinance 587)
3. Revised Concept Plan (Ordinance 598)
4. Proposed Minor Change to Perimeter Fence and Landscaping details

PZ 17-11: Location of Glen of Village Creek Subdivision



ORDINANCE NO. 587

AN ORDINANCE AMENDING ORDINANCE NO. 40, AS AMENDED THE ZONING ORDINANCE OF THE CITY OF KENNEDALE, TEXAS BY REZONING CERTAIN PROPERTY WITHIN THE CITY LIMITS FROM "AG" AGRICULTURAL ZONING DISTRICT TO "PD" PLANNED DEVELOPMENT DISTRICT; PROVIDING FOR THE AMENDMENT OF THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING FOR A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Kennedale Texas is a Home Rule municipality acting under its charter adopted by the electorate pursuant to Article XI, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential, or other purposes, for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

WHEREAS, the City of Kennedale desires to promote the redevelopment of certain property located near the Village Creek floodplain that would be appropriate for and complementary to its location adjacent to a future park system, when such development is consistent with the comprehensive land use plan; and

WHEREAS, Kennedale Economic Development Corporation, which has a proprietary interest in said property being an approximately 8-acre portion outside the floodplain of an approximately 15.6 acre tract, belonging to Ethel Swiney and located in the David Strickland Survey A-1376, Tarrant County, Texas, such property being mostly located west of the former Williamson Drive as shown on the plat abandonment recorded in Tarrant County Clerk's instrument number D214210746, wishes to encourage development of this property in keeping with the goals and vision of the City of Kennedale in order to promote economic growth of the city; and

WHEREAS, CHC Development wishes to pursue redevelopment of said property in keeping with the Kennedale Economic Development Corporation's vision and goals; and

WHEREAS, the City of Kennedale believes the ordinance as proposed would help achieve the vision set forth in the comprehensive land use plan; and

WHEREAS, the City Council has determined that a planned development zoning district is the most appropriate zoning district to facilitate the development of the property; and

WHEREAS, a public hearing was duly held by the Planning and Zoning Commission of the City of Kennedale on the 17th day of December 2015 and by the City Council of the City of Kennedale on the 18th day of January 2016 with respect to the zoning changes described herein; and

WHEREAS, all requirements of law dealing with notice to other property owners, publication and all procedural requirements have been complied with in accordance with Chapter 211 of the Local Government Code; and

WHEREAS, the City Council does hereby deem it advisable and in the public interest to amend the City's Zoning Ordinance as described herein.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, TEXAS:

SECTION 1:

The Comprehensive Zoning Ordinance is hereby amended so that the zoning classification and the uses in the hereinafter described area shall be changed and or restricted as shown and described below:

An approximately 8-acre portion outside the floodplain of an approximately 15.6 acre tract, belonging to Ethel Swiney and located in the David Strickland Survey A-1376, Tarrant County, Texas, such property being mostly located west of the former Williamson Drive as shown on the plat abandonment recorded in Tarrant County Clerk's instrument number D214210746 ("the property"), as more particularly described on Exhibit "A" attached hereto and incorporated herein, from "AG" Agricultural to "PD" Planned Development District ("Swiney Estates PD") for single family residential use with modified restrictions, as more fully described on the Concept Plan, attached hereto as Exhibit "B" and incorporated herein.

SECTION 2.

The use of the Property shall be subject to the restrictions, terms and conditions set forth in the Concept Plan, attached hereto as Exhibit "B", and the Concept Plan is hereby approved. The use of the Property shall further conform to the standards and regulations of the "R2" Single Family Residential zoning district and to Chapter 17, Division 10 Subdivision Design Criteria of the City of Kennedale City Code, to the extent not modified in this Ordinance and the document attached as Exhibit "B", and shall be subject to all other applicable regulations contained in the Zoning Ordinance and all other applicable and pertinent ordinances of the City of Kennedale, where not otherwise controlled by the regulations set forth below. The Property shall conform to the following supplemental standards and regulations, which shall supersede any other requirements to the extent of a conflict:

1) *Property location and size.*

Kennedale Residential is established on property located west of Bowman Springs Rd. and approximately 0.31 miles south of Interstate 20 with access off of Bowman Springs Rd. This Planned Development is comprised of five (5) tracts of land consisting of approximately 8.2 gross acres, more particularly described on Exhibit 'A' and shown on the Exhibit 'C' Development Plan, which is attached hereto for all purposes.

2) *Purpose*

To create a Planned Development for thirty-five (35) single family residential lots. The minimum gross density and a net density are as shown on the Development Plan. An enhanced entry will be provided at the connection point to Bowman Springs Rd.

3) *Development plan.*

The proposed Development Plan as shown on Exhibit 'B' will be in complete accordance with the provisions of the approved Planned Development and shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

4) *Community Architectural Controls.*

A) An Architectural Control Committee will govern the architectural attributes within this Planned Development.

B) Architectural attributes for this residential development will consist of the following:

- 1) The front entry to a house will be well -defined and kept proportional to the house. The front entry will be designed so as not to distract from the rest of the house.
- 2) Only specialty windows such as box windows or circular windows may be flush mounted to the exterior face of the house, all other windows are to be inset to create relief on the elevations.
- 3) Facades will avoid large expanses of uninterrupted single exterior materials and must be broken up by changes in plane through architectural attenuation, accented with the effects of window placement, window trim, or material type and color changes.
- 4) Shutters, if provided, will be sized and shaped to match the associated openings.
- 5) Gutters, if provided, will be exposed or painted copper, galvanized steel, or aluminum if exposed to the street.
- 6) All asphalt roof shingles will be laminated architectural shingles with a three dimensional appearance and warranted for at least thirty (30) years.

a) *Roof Materials.*

- i. All roofs must be constructed with 3 tab/3 dimensional shingles and must have ACC approval.
 - ii. Roof Colors must be submitted for ACC approval.
- 7) A minimum roof pitch of 6:12 (inches of rise per inches of run) from side to side will apply to the predominant roof with the exception of a tile or slate roof that may have a minimum roof pitch of 5: 12 from side to side. A variety of roof pitches may be incorporated into the roof design provided that the predominant roof has at least a 6:12 pitch. Porch roofs shall have a minimum 4: 12 pitch. See variation below.
 - 8) In order to encourage variety on a continuous block, the exterior facades for houses will vary within every 6 houses. Once a house is constructed the same combination of brick, stone, masonry-like materials, and paint will not be used within four (4) houses on either side of that house.

- 9) Exterior facades will be 100% masonry on the front, a minimum of 80% masonry on the sides and rear. Masonry materials shall be as required by Kennedale City Code Section 17-405. The exception to this are walls over the roof, such as bay or dormer windows, chimneys, or fireplaces, which are not required to be masonry.
- 10) *Chimneys.*
 - a) All chimneys must meet industry safety guidelines.
 - b) Chimneys on an exterior wall shall be constructed completely to the ground so as not to appear cantilevered from the building.
 - c) Chimneys located on exterior wall must be 100% masonry.
 - d) Chimney color to match base or accent material of the house or compliment color of roof.
 - e) No wood trim shall be allowed on the chimney.
 - f) Any other materials shall be masonry or cementitious materials. Non-cementitious materials shall not be used without written approval from the ACC.
- 11) All garages will be decorative wood, carriage style, or decorative color metal doors. Design between garage and home shall use same or complementary colors and materials.
- 12) All exposed wood accents and wooden garage doors will be double stained and sealed or painted with two (2) coats for protection and regularly maintained as enforced by the HOA.
- 13) Decorative street lighting will be utilized and will conform to Oncor and City of Kennedale standards and include the following if approved by and available from Oncor: low profiling lighting; or induction lights (LED), scotopic lumens allowing street lights with lower wattages and lower photopic lumens. Lighting shall be consistent with the design of the neighborhood and shall be distinguished from lights on adjacent or nearby arterial streets.
- 14) Any home with a covered front porch shall have a minimum depth of five (5) feet and shall be at least fifty (50) square feet in total size to allow this space to be usable. A covered porch may encroach into area designated as front yard or side yard not greater than five (5) feet to help improve the architecture of the home and the character of the street. For wrap-around porches or any other porch style whose full width is not located on the front façade, a minimum of fifty (50) percent of the front porch shall be located on the front façade.
- 15) The landscape design along Bowman Springs Road will utilize enhanced brick or masonry screen walls, wrought iron, and architectural features at the entrance to the subdivision.
- 16) All common open space, landscaping in open space areas, private roads, and masonry screen walls will have a mandatory Home Owners' Association (HOA) to maintain those improvements. Any final plats or replats for this development district shall contain a note stating which retaining walls are to be maintained privately, either by individual owners or the HOA.
- 17) All lots with rear yards or side yards facing Bowman Springs Rd. shall use

wrought iron fencing or masonry walls that conform to the City of Kennedale standards and will be installed by the developer and maintained by Homeowners' Association (HOA)

- 18) All lots with rear yards or side yards facing the Village Creek open space shall have six-foot (6') high wrought iron fencing that conforms to the City of Kennedale standards and be installed by the builder as their primary option. The homeowner may be given a choice of wrought iron or cedar fencing that conforms to this PD, and the City of Kennedale standards. The fence is to be installed by the builder, and if a cedar privacy fence is chosen as the fencing option, the builder will contribute \$500 to the Village Creek Parks fund at the time the building permit is issued.
- 19) The side yards and rear yards of all residential lots that are not facing public right-of-way or Village Creek open space shall have a minimum six-foot (6') high cedar fence to be installed by the builder and maintained by homeowner.
- 20) *Utility, Service and Mechanical Equipment*
 - a) All equipment related to utilities intended to serve one Lot shall be installed by the Owner of the Lot and shall be located underground if possible.
 - b) All services to the Lot, including pre-wiring for cable television, must be installed underground if available.
 - c) Ground-mounted mechanical equipment, such as HVAC units, shall be screened from view and grouped together away from street and public view. Private, surface-mounted mechanical equipment, air conditioners, condensers, compressors, pool equipment, switches, etc. should be placed behind the side yard fence of a Lot.
- 21) All cedar fencing will comply with the following requirements:
 - a) Use all cedar wood, 1" x 6" cedar planks, minimum 2" x 4" cedar horizontal stringers, and 2" x 4" baseboards.
 - b) Treated on both sides with cedar tinted preservative or equal quality stain, double stained.
 - c) Fence planks or panels must be at least five-eighths of one inch (5/8") in thickness. Fence planks or panels must have a gap between the ground and the wood to prevent rotting and decay.
 - d) All vertical posts, stringer brackets, all other hardware to construct wooden fencing and gates will be galvanized steel.
 - e) All vertical post shall be set at a maximum distance of eight feet (8') apart. All posts shall be set at a minimum depth of twenty-four inches (24") deep incased in concrete and caped.
 - f) All materials will be securely fastened (i.e. vertical boards to horizontal stringers, stringers to vertical posts) and be free from rot, rust, vandalism, and other sources of decay.
 - g) Cedar fencing shall include a baseboard that is located within 6" from the bottom of the fence.
- 22) The ACC shall require builder(s) to provide at least two (2) single-story options for homebuyer consideration.

5) *General conditions.*

A) *Landscaping and Open Space.*

- 1) The City's Landscaping ordinance will supersede where this ordinance is silent. This ordinance will supersede to resolve any conflicts.
- 2) There will be a minimum of two 3" caliper trees per residential lot located in the front yard and installed by the homebuilder. All tree locations and types will conform to the City of Kennedale ordinances.
- 3) There will be a minimum of 6 three-gallon (3 gal) shrubs per residential lot located in the front yard. All shrub locations and types will conform to the City of Kennedale ordinances.
- 4) There will be a minimum of one three-inch (3") caliper trees or two five-gallon (5 gal) shrubs in backyards for lots with the rear of the property adjacent to a thoroughfare, park, park land or open space.
- 5) All lawns and landscaping will be irrigated.
- 6) Landscaping will be installed by the developer at the entry to the subdivision and in common areas, including within the right-of-way for Bowman Springs Road and along the subdivision screening wall and along the right-of-way on Bowman Springs Road adjacent to the planned development district.
 - a) Landscaping shall be irrigated
 - b) Plants shall be conducive to the Southwest Nature Preserve and Village Creek green belt, as to blend the entry and the community into the natural surroundings.
 - c) The following plant types shall be included in the landscaping along the Bowman Springs Rd right-of-way:
 - i. Irrigated climbing vines;
 - ii. 4- Five-gallon (5 gal) shrubs;
 - iii. 7- three-inch (3") caliper trees.
- 7) Landscaping installed by the developer shall be maintained by the Homeowners' Association (HOA).
- 8) *Right-Of-Way.* Street right-of-way will be equal to 50' in width.
- 9) *Lot Area and Setbacks.* Lot areas and setbacks will be as shown on the Exhibit 'C' Development Plan.
- 10) *Minimum Floor Area per dwelling unit.* All lots will have a minimum of 1,800 square feet of dwelling space.
- 11) *Perimeter Walls/Screening.* The perimeter walls adjacent to Bowman Springs Road will be a minimum of 6' in height and constructed of 100% masonry or wrought iron.

B) *Sidewalk Requirements.*

- 1) A. Sidewalks will be required throughout the development. If not installed by the developer, sidewalks along residential lots are to be constructed by the home builder at the time of home construction for each residential lot.
- 2) Sidewalks shall be a minimum of five (5) feet in width.

C) *Access to the public park will be provided within the development.*

- 1) Access shall comply with accessibility standards and fire code.
- 2) A gate with lock will be provided at the access point to the subdivision.

6) *Homeowners' Association.*

- A) A mandatory homeowners association (HOA) will be responsible for the maintenance of the common landscape areas and exterior retaining walls within the development that are built by the Developer (any landscaping and retaining walls built by the homebuilder will be maintained by that property owner).
- B) The homeowners association will have rules and regulations to ensure the proper maintenance of home exteriors and common areas.
- C) The homeowners association will include an architectural control committee (the "ACC") to review and approve all proposed home plans prior to construction.
- D) Developer will maintain control of the HOA and the ACC until 100% of the lots have been sold and at least 70% of the building permits have been issued.

SECTION 3.

The zoning districts and boundaries as herein established have been made in accordance with the comprehensive plan for the purpose of promoting the health, safety, morals and general welfare of the community. They have been designed to lessen congestion in the streets, to secure safety from fire, panic, flood and other dangers, to provide adequate light and air, to prevent overcrowding of land, to avoid undue concentration of population, to facilitate the adequate provisions of transportation, water, sewerage, parks and other public requirements. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of the buildings and encouraging the most appropriate use of land throughout the community.

SECTION 4.

The City Secretary is hereby directed to amend the official zoning map to reflect the changes in classifications approved herein.

SECTION 5.

The use of the properties hereinabove described shall be subject to all the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances of the City of Kennedale, Texas.

SECTION 6.

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Kennedale, Texas (1991), as amended, including but not limited to all Ordinances of the City of Kennedale affecting zoning and land use, and shall not repeal any of the provisions of such ordinances except in those instances where provisions of such ordinances are in direct conflict with the provisions of this ordinance.

SECTION 7.

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 8.

All rights or remedies of the City of Kennedale Texas are expressly saved as to any and all violations of any ordinances governing zoning or of any amendments thereto that have accrued at the time of the effective date of this Ordinance and as to such accrued violations and all pending litigation both civil and criminal same shall not be affected by this Ordinance but may be prosecuted until final disposition by the Courts.

SECTION 9.

It is hereby declared to be the intention of the City Council that the phrases clauses sentences paragraphs and sections of this ordinance are severable and if any phrase clause sentence paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction such unconstitutionality shall not affect any of the remaining phrases clauses sentences paragraphs and sections of this ordinance since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase clause sentence paragraph or section.

SECTION 10.

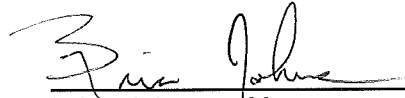
The City Secretary of the City of Kennedale is hereby directed to publish the caption, Section 1, the penalty clause, the publication clause, and the effective date clause of this ordinance in every issue of the official newspaper of the City of Kennedale for two days or one issue of the newspaper if the official newspaper is a weekly newspaper as authorized by Section 3.10 of the City of Kennedale Charter.

SECTION 11.

This ordinance shall be in full force and effect from and after its passage and publication as required by law and it is so ordained.

PASSED AND APPROVED ON THIS 18th DAY OF JANUARY 2016.

APPROVED:



Brian Johnson, Mayor

ATTEST:



Leslie Galloway, City Secretary

EFFECTIVE: January 23, 2016

APPROVED AS TO FORM AND LEGALITY:



Wayne K. Olson, City Attorney



Exhibit A

METES & BOUNDS DESCRIPTION (EAST PART – OUTSIDE FLOODPLAIN)

Being a tract of land situated in the D. Strickland Survey, Abstract No. 1376 in the City of Kennedale, Tarrant County, Texas, said tract of land being a portion of that certain "Tract 2" as described to Leon Swiney and wife, Ethel M. Swiney as recorded in Volume 11497, Page 1305 and 1309, Deed Records of Tarrant County, Texas (DRTCT), said tract of land also being a portion of Block 1, Swiney Estates Addition, an addition to the City of Kennedale as recorded in Volume 388-10, Page 93, Plat Records of Tarrant County, Texas (PRTCT), said tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod found for the southwest corner of Lot 4-R, Block 1, Swiney Estates, an addition to the City of Kennedale as recorded in Cabinet B, Slide 2572, PRTCT;

THENCE North 88 degrees 13 minutes 57 seconds East, a distance of 230.61 feet to an angle point in the south line of said Lot 4-R;

THENCE South 08 degrees 14 minutes 03 seconds East, a distance of 0.60 feet to an angle point in the south line of said Lot 4-R;

THENCE North 88 degrees 19 minutes 51 seconds East, at a distance of 245.95 feet passing a 1/2-inch iron rod found for the southeast corner of said Lot 4-R and continuing a total distance of 265.96 feet to a 5/8-inch iron rod set with plastic cap stamped "Shield Engineering" on the westerly right-of-way line of Bowman Springs Road (a variable width right-of-way), said iron rod also being the northeast corner of Lot 6 in the aforementioned Block 1;

THENCE South 00 degrees 33 minutes 12 seconds East, with the common easterly line of said Block 1 and said westerly right-of-way line, a distance of 307.31 feet to a 5/8-inch iron rod set with plastic cap stamped "Shield Engineering" at the northeast corner of "Parcel No. 2" as described to the City of Kennedale by instrument recorded in Instrument Number D211140987 DRTCT;

THENCE South 89 degrees 26 minutes 53 seconds West, with the northerly line of said Parcel No. 2, a distance of 15.41 feet to a 5/8-inch iron rod found for the northwest corner of said Parcel No. 2;

THENCE South 00 degrees 33 minutes 07 seconds East, with the westerly line of said Parcel No. 2, a distance of 18.19 feet to a 5/8-inch iron rod found for the point of curvature of a curve to the right in the westerly line of said Parcel No. 2;

THENCE with the arc of said curve to the right, at a distance of 75.59 feet passing a 5/8-inch iron rod being the common southwest corner of "Parcel No. 2" and the northwest corner of "Parcel No. 3 Pt 1" as described to the City of Kennedale by instrument recorded in Instrument Number D211140987 DRTCT, and continuing in all a total arc distance of 517.74 feet, said curve to the right having a central angle of 31°33'27", a radius of 940.00 feet, and a chord bearing and distance of South 15°13'37" West, 511.22 feet to a 5/8-inch iron rod found stamped "Gorrondona & Assoc" for the southwest corner

of "Parcel No. 3 Pt 1" at the intersection of westerly right-of-way line of Bowman Springs Road (a variable width right-of-way) and the northerly right-of-way line of Williamson Drive (a 50-foot right-of-way);

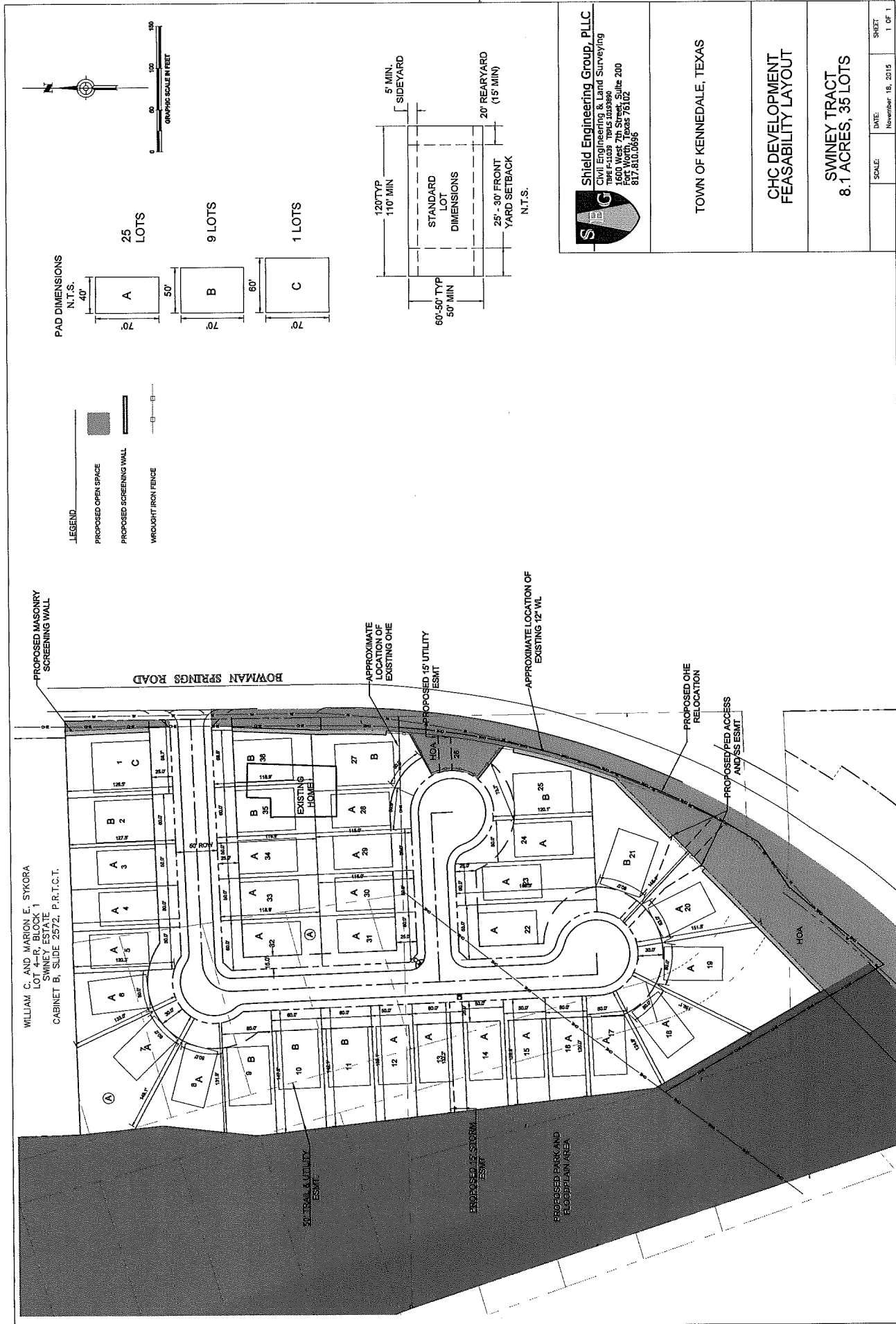
THENCE South 56 degrees 16 minutes 14 seconds West, crossing the right-of-way of Williamson Drive, a distance of 76.43 feet to the intersection of said westerly right-of-way line of Bowman Springs Road (a variable width right-of-way) and the southerly right-of-way line of said Williamson Drive (a 50-foot right-of-way), said point being the point of curvature of a non-tangent curve to the right and also being the northernmost northwest corner of "Parcel No. 3 Pt 2" as described to the City of Kennedale by instrument recorded in Instrument Number D211140987 DRTCT;

THENCE with the arc of said non-tangent curve to the right and said westerly right-of-way line and the northwesterly line of said "Parcel No. 3 Pt 2", a distance of 132.89 feet, said curve to the right having a central angle of $8^{\circ}22'01"$, a radius of 910.00 feet, and a chord bearing and distance of South $39^{\circ}32'44"$ West, 132.77 feet to a 5/8-inch iron rod set with plastic cap stamped "Shield Engineering";

THENCE North 30 degrees 02 minutes 09 seconds West, departing said right-of-way line and along the general vicinity of contour elevation 570, a distance of 297.12 feet to a 5/8-inch iron rod set with plastic cap stamped "Shield Engineering" for an angle point in the westerly line of the tract described herein;

THENCE North 02 degrees 22 minutes 03 seconds West, continuing along the general vicinity of contour elevation 570, a distance of 494.52 feet to a 5/8-inch iron rod set with plastic cap stamped "Shield Engineering" for an angle point in the westerly line of the tract described herein;

THENCE North 09 degrees 21 minutes 19 seconds West, continuing along the general vicinity of contour elevation 570, a distance of 200.79 feet to the POINT OF BEGINNING and CONTAINING 357,724 square feet or 8.212 acres of land area, more or less.



Shield Engineering Group, PLLC
 Civil Engineering & Land Surveying
 TYPE F-11039 TPLS 1003990
 1600 West 7th Street, Suite 200
 Fort Worth, Texas 76102
 817.810.0696

TOWN OF KENNEDALE, TEXAS

CHC DEVELOPMENT
 FEASIBILITY LAYOUT

SWINEY TRACT
 8.1 ACRES, 35 LOTS

SCALE	DATE	SHEET
	November 18, 2015	1 OF 1

ORDINANCE NO 598

AN ORDINANCE AMENDING ARTICLE VI OF CHAPTER 17 OF THE KENNEDALE CITY CODE (1991), AS AMENDED, THE ZONING ORDINANCE OF THE CITY OF KENNEDALE, TEXAS BY AMENDING ORINANCE 587 ESTABLISHING THE SWINEY ESTATES PLANNED DEVELOPMENT DISTRICT BY AMENDING THE CONCEPT PLAN; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Kennedale is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes, for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

WHEREAS, a change in the zoning classification of the property described below was approved by Ordinance 587 on January 18, 2016, which established the Swiney Estates Planned Development District; and

WHEREAS, a concept plan was approved as an Exhibit to Ordinance 587, and that concept plan is no longer feasible or practicable due to site topography, the location and size of floodplain on the property, and other existing development constraints, and CHC Development has requested a revised concept plan be approved to address those constraints; and

WHEREAS, the Planning and Zoning Commission of the City of Kennedale, Texas held a public hearing on May 19, 2016, and the City Council of the City of Kennedale, Texas held a public hearing on June 27, 2016, with respect to the amendments described herein; and

Whereas, the City has complied with all requirements of Chapter 211 of the Local Government Code, Section 17-429 of the Zoning Ordinance, and all other laws dealing with notice, publication, and procedural requirements for the approval of amending the Schedule of Uses under Section 17-421 of the Kennedale City Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, THAT:

SECTION 1.

The Swiney Estates Planned Development District concept plan is hereby amended as follows:

See Exhibit "A".

SECTION 2.

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Kennedale, Texas (1991), as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 3.

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clause, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause, or phrase.

SECTION 4.

Any person, firm, or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00). Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 5.

All rights and remedies of the City of Kennedale are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

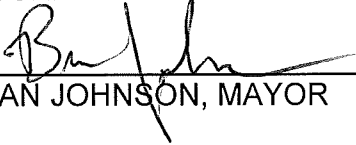
SECTION 6.

The City Secretary of the City of Kennedale is hereby directed to publish in the official newspaper of the City of Kennedale the caption, Section 1, the penalty clause, the publication clause, and the effective date clause of this ordinance as provided by Section 3.10 of the Charter of the City of Kennedale.

SECTION 7.

This Ordinance shall be in full force and effect from and after the date of its passage and publication as required by law, and it is so ordained.

PASSED AND APPROVED ON THIS 27th DAY OF JUNE 2016.


BRIAN JOHNSON, MAYOR

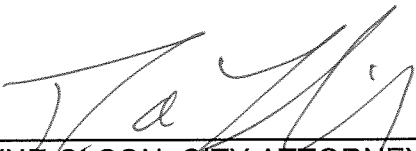
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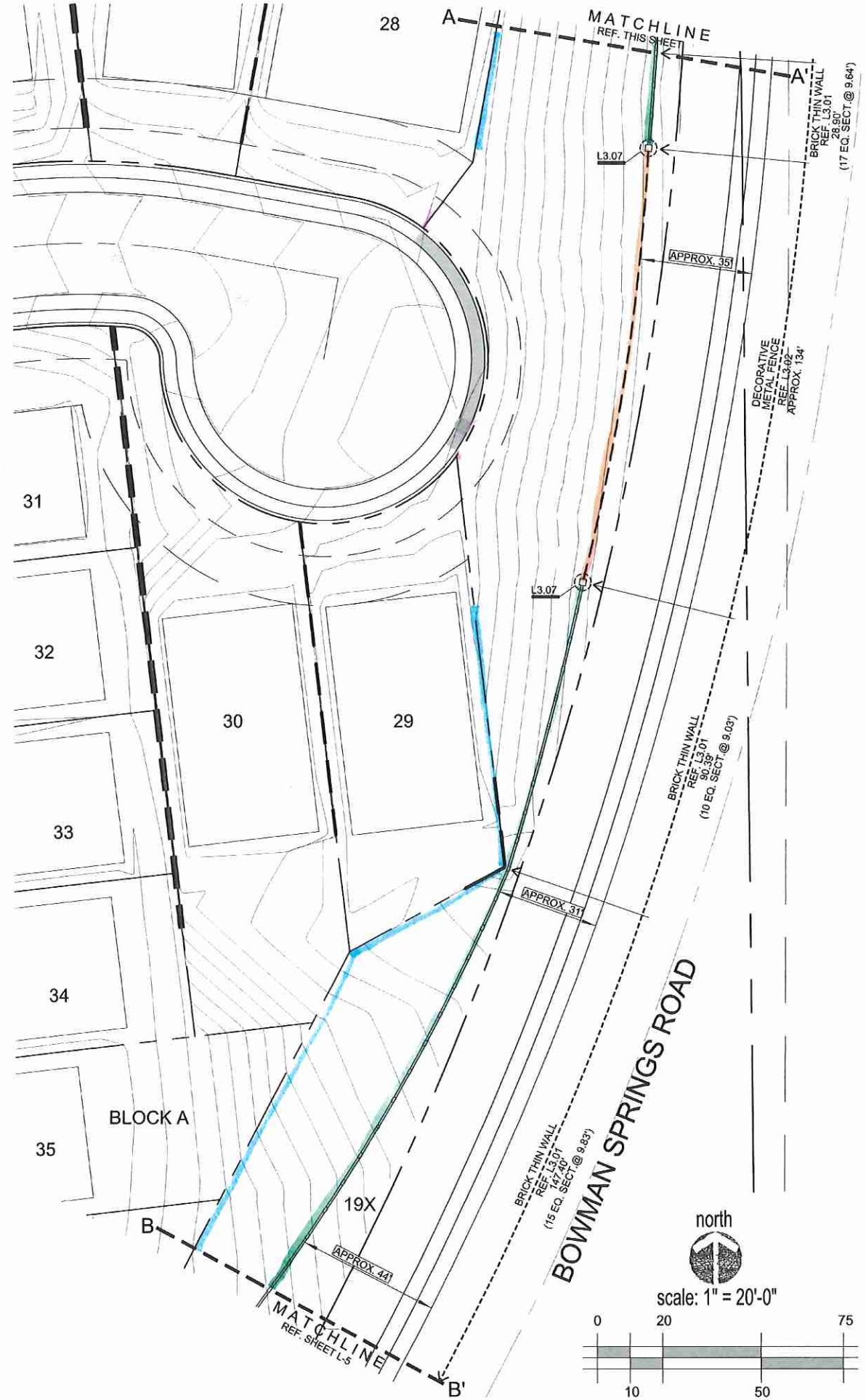
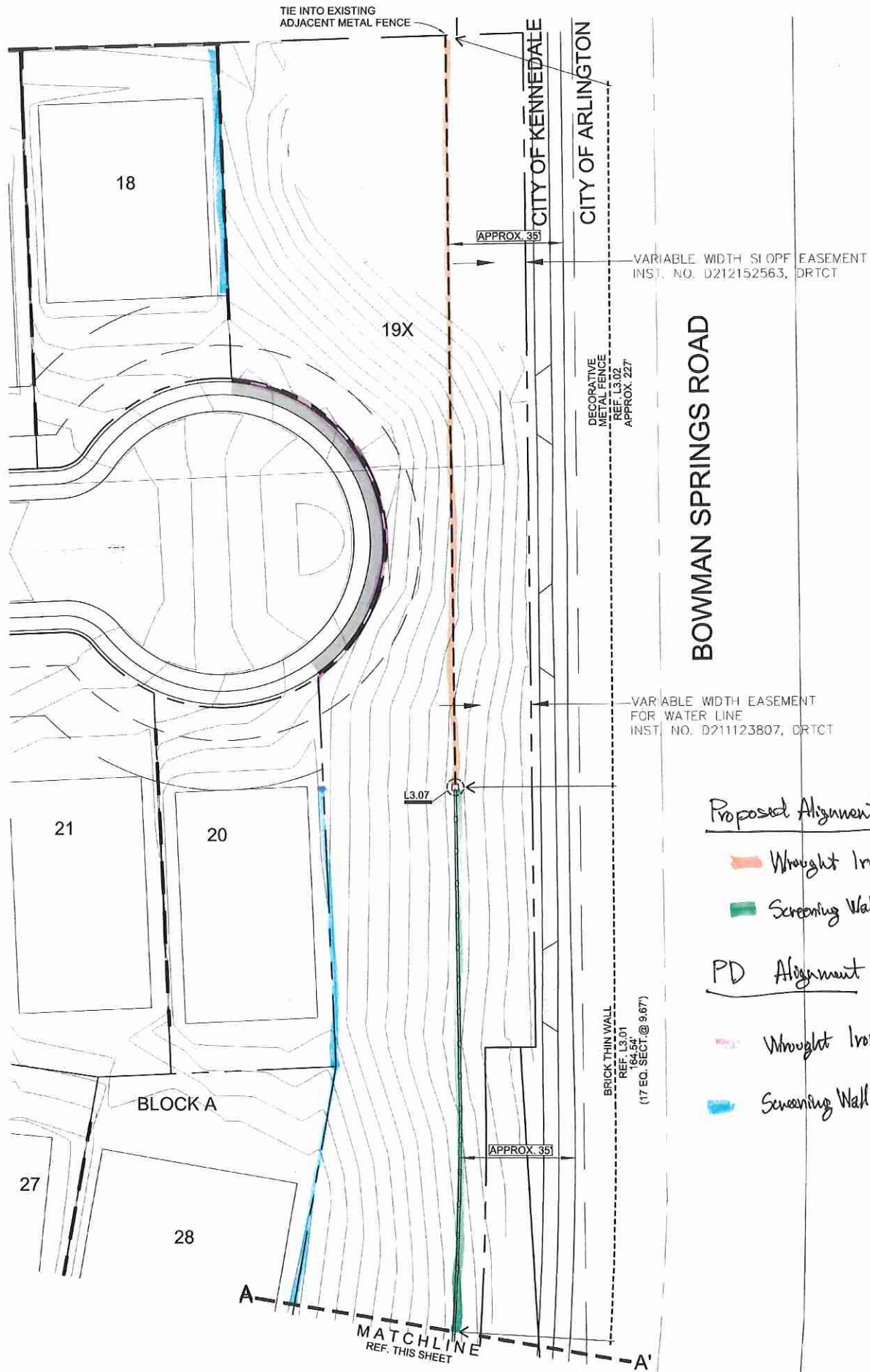

LESLIE GALLOWAY, CITY SECRETARY



EFFECTIVE: July 8, 2016

APPROVED AS TO FORM AND LEGALITY:


WAYNE OLSON, CITY ATTORNEY

appr. by:
drawn by:
date: 07-11-17

revisions
07-24-17
10-17-17
11-01-17



Leeming Design Group
Landscape Architecture
4913 Judd Snow Drive, Suite 100-B North Richland Hills, Texas 76180
(817) 577-0889 Fax (817) 577-0896
leemingdesigngroup@yahoo.com

HARDSCAPE LAYOUT

THE GLEN OF VILLAGE CREEK
BOWMAN SPRINGS ROAD
KENNEDALE, TEXAS

file name:
c:\kenneale-glen of Village Creek\kig-base_GVC.dwg
sheet
L-1

RECEIVED JAN 05 2017

appr. by:
drawn by:
date: 07-11-17

revisions
07-24-17
10-17-17
11-01-17



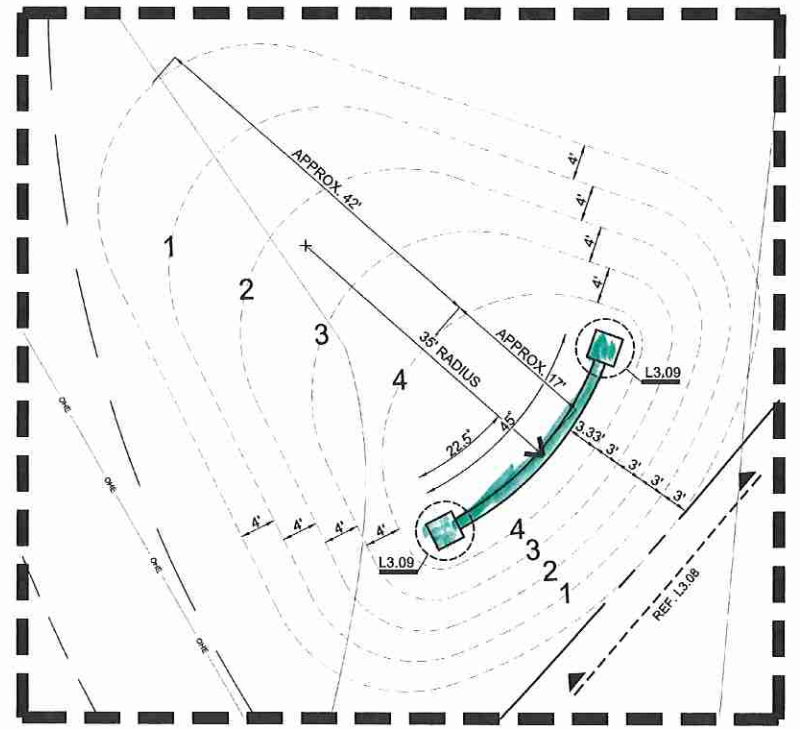
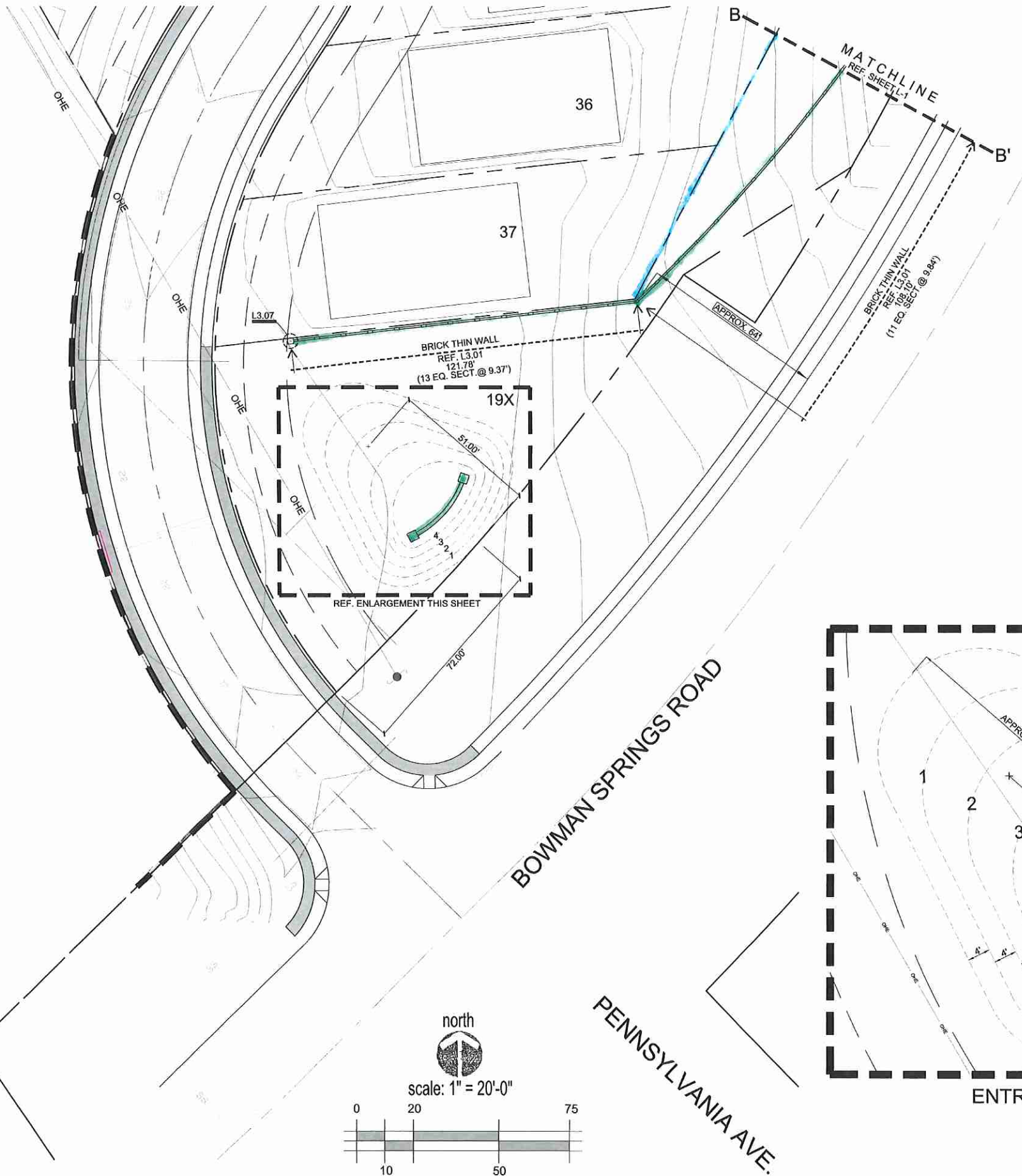
Leeming
Design Group
Landscape Architecture
4813 Beldar Drive, Suite 101-18 North Richland Hills, Texas 76186
(817) 777-8888 Fax: (817) 777-8888
leemingdesigngroup.com

HARDSCAPE LAYOUT

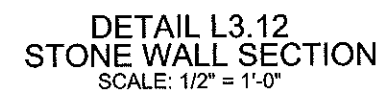
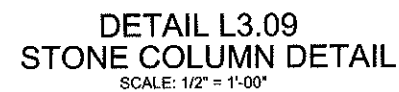
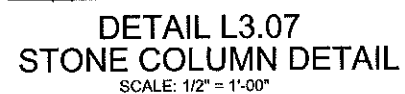
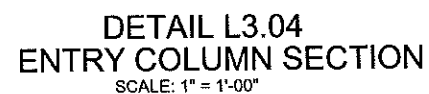
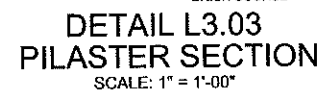
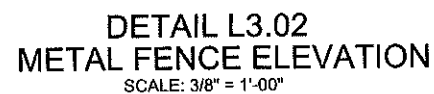
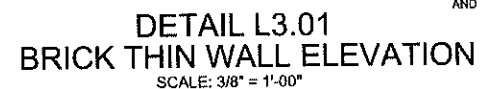
THE GLEN OF VILLAGE CREEK
BOWMAN SPRINGS ROAD
KENNEDALE, TEXAS

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CITY OF ARLINGTON
CITY OF KENNEDALE



ENTRY ENLARGEMENT
SCALE: 1" = 10'-00"



NOTE: WALL CONTRACTOR SHALL PROVIDE PLANS
SEALED BY STRUCTURAL ENGINEER FOR
PERMITTING

appr. by:
drawn by:
date: 07-11-17

revisions
07-24-17
10-17-17
11-01-17



**Leeming
Design Group**
Landscape Architecture

13 Red Snow Drive, Suite 101-B North Richland Hills, Texas 76180
 817.577.0089 Fax 817.577.0086
leemingdesigngroup@bellsouth.net

HARDSCAPE DETAILS

THE GLEN OF VILLAGE CREEK
BOWMAN SPRINGS ROAD
KENNEDALE, TEXAS

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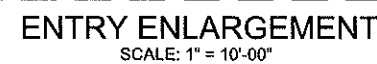
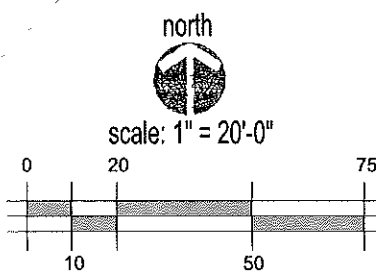
1. PLANT LIST FOR THIS SHEETS L-4 THROUGH L-5.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BED AREAS SHALL BE SEPERATED FROM TURF WITH STEEL EDGING. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
4. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF
VITAL EARTH COMPOST
BACK-TO-EARTH SOIL CONDITIONER
LIVING EARTH COMPOST
SOIL BUILDING SYSTEMS COMPOST
SILVER CREEK MATERIALS COMPOST
5. TOPDRESS ENTIRE BED AREAS WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
6. ALL BEDSIDE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.

SYM	MATERIAL	QNTY	SIZE	HT	SPR	NOTES	SP
LO	LIVE OAK QUERCUS VIRGINIANA	8	4" CAL.	12-14'	6-8"	NURSERY GROWN	NA
CO	CHINKAPIN OAK QUERCUS MUHLENBERGIA	13	3" CAL.	10-12'	5-6"	NURSERY GROWN	NA
BO	BURR OAK QUERCUS MACROCARPA	10	3" CAL.	10-12'	5-6"	NURSERY GROWN	NA
BC	BALD CYPRESS TAXODIUM DISTICHUM	8	3" CAL.	10-12'	5-6"	NURSERY GROWN	NA
VT	VITEX VITEX AGNUS CASTUS	14	30 GAL.	7-9'	4-5'	FULL, M.T.	NA
LM	LINDHEIMER'S MUHLY MUHLENBERGIA LINDHEIMER	81	5 GAL.	28"	18"	FULL	48%o.c.
IH	INDIAN HAWTHORN RAPIHOLEPIS INDICA 'CALISTO'	12	5 GAL.	15"	15"	FULL	24%o.c.
DR	DRIFT ROSE ROSA 'PEACH' DRIFT	9	3 GAL.	10"	15"	FULL	24%o.c.
MFG	MEX FEATHERGRASS NASSELLA TENUISSIMA	177	1 GAL.	12"	12"	FULL	15%o.c.
SE	STEEL EDGING	42	LIN. FT.	REF. DETAIL THIS SHEET			

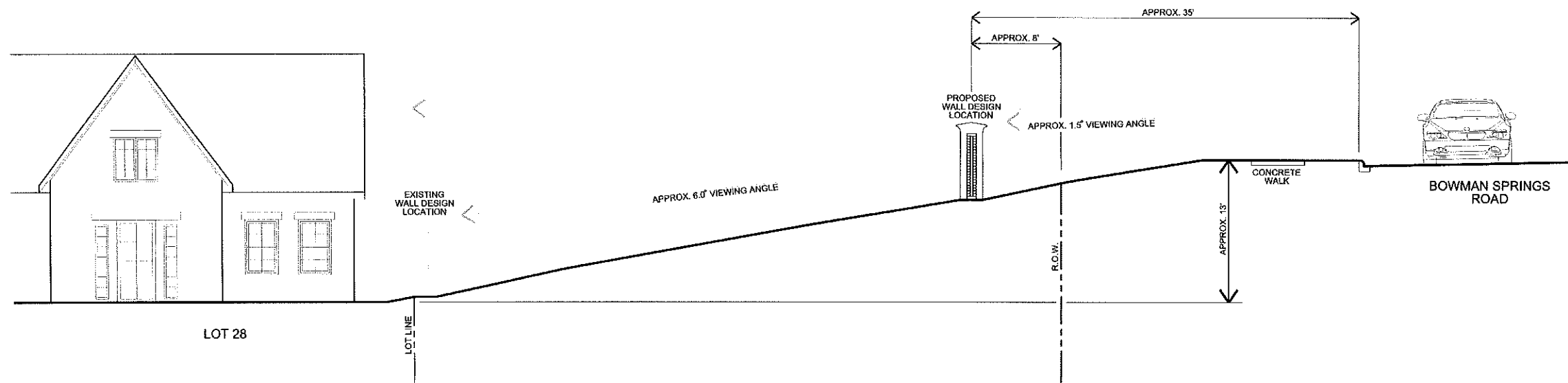
COMMON
BERMUDAGRASS
(*CYNODON DACTYLON*)
PERMANENT
IRRIGATION SYSTEM

SOD INSTALLATION NOTES:

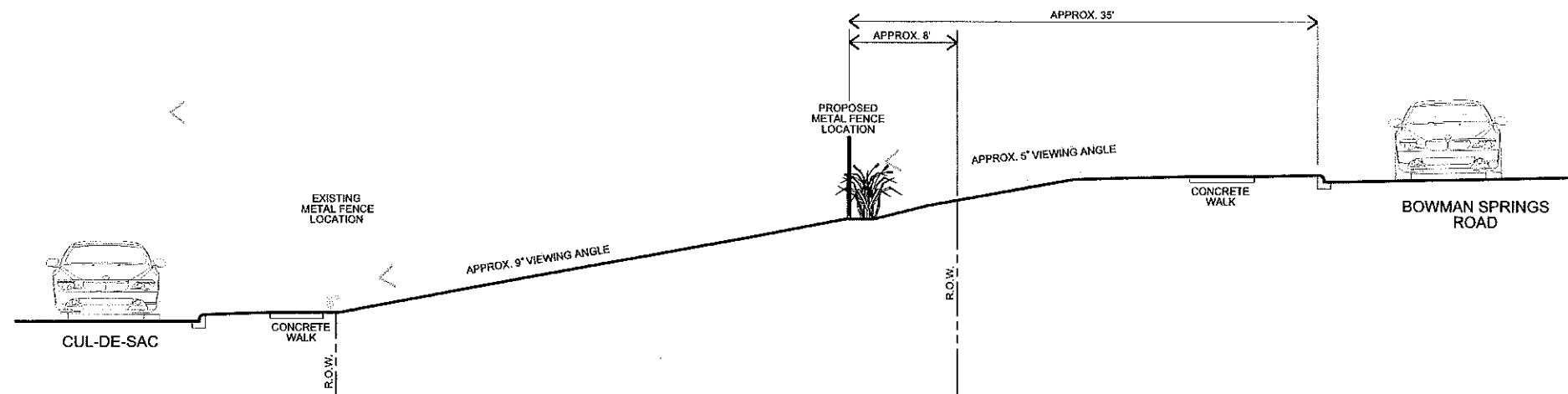
- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.



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HOA FRONTAGE SECTION
(AT LOT)
SCALE: 3/16" = 1'-0"



HOA FRONTAGE SECTION
(AT CUL-DE-SAC)
SCALE: 3/16" = 1'-0"

appr. by:
drawn by:
date: 10-13-17

revisions
10-17-17
10-31-17
11-01-17



Leeming
Design Group
Landscape Architecture
4903 East Loop West, Suite 101-13 West Houston, Texas 77056
(281) 577-4488 Fax (281) 577-4489 leemingdesigngroup@aol.com

SCREENING EXHIBIT

THE GLEN OF VILLAGE CREEK
BOWMAN SPRINGS ROAD
KENNEDALE, TEXAS

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EX-1