

ECONOMIC DEVELOPMENT CORPORATION
AGENDA
BOARD OF DIRECTORS - REGULAR MEETING
October 22, 2013
CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE

REGULAR SESSION - 7:15 PM

I. CALL TO ORDER

II. ROLL CALL

III. MINUTES APPROVAL

- A. Consider approval of minutes from the September 24, 2013 meeting.

IV. REGULAR ITEMS

- A. Introduction of new members.
- B. Consider appointing a President to the 2013-2014 Economic Development Corporation.
- C. Consider appointing a Vice President to the 2013-2014 Economic Development Corporation.
- D. Consider appointing an EDC Board Member to serve on the TownCenter Development District Board.
- E. Review and accept the KEDC Financial Report for Aug 2013.
- F. Consider authorizing the Executive Director to execute a second amendment to the development schedule of the Economic Development Corporation's agreement for development of the Kennedale TownCenter.
- G. Consider making recommendations concerning the proposed form based code in the Employment Center area.
- H. Consider setting a regular date and time for Economic Development Corporation meetings.

V. STAFF ANNOUNCEMENTS/REPORTS

A. Updates and information from the Executive Director.

1. TXDOT variance request on Kennedale Parkway
2. Green Ribbon Grant project status
3. Foxy Propaganda/The Fowler Group
4. Urgent Plus Care
5. Surplus Warehouse space
6. 12 by 12 Meetings
7. Link Street meeting with Tarrant County
8. Meeting with TransWestern

VI. EXECUTIVE SESSION

A. The Economic Development Corporation will meet in closed session pursuant to Section 551.072 of the Texas Government Code to deliberate the purchase, lease, or value of real property.

1. Discuss the sale of property at 1000 E Kennedale Parkway.
2. Discuss the sale of Oak Crest pad sites.

VII. RECONVENE INTO OPEN SESSION, AND TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION, IF NEEDED

VIII. ADJOURNMENT

In compliance with the Americans with Disabilities Act, the City of Kennedale will provide for reasonable accommodations for persons attending City Council meetings. This building is wheelchair accessible, and parking spaces for disabled citizens are available. Requests for sign interpreter services must be made forty-eight (48) hours prior to the meetings. Please contact Amethyst Cirno, City Secretary, at 817.985.2104 or (TDD) 1.800.735.2989

CERTIFICATION

I certify that a copy of the October 22, 2013, Kennedale Economic Development Corporation agenda was posted on the City Hall bulletin board next to the main entrance of the City Hall building, 405 Municipal Drive, of the City of Kennedale, Texas, in a place convenient and readily accessible to the general public at all times and said agenda was posted at least 72 hours preceding the schedule time of said meeting, in accordance with Chapter 551 of the Texas Government Code.


☐ Amethyst G. Cirno, City Secretary



Date: October 22, 2013

Agenda Item No: MINUTES APPROVAL - A.

I. Subject:

Consider approval of minutes from the September 24, 2013 meeting.

II. Originated by:

Bob Hart

III. Summary:

Please see the attached minutes for approval.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:

1.	minutes	09.24.2013 EDC Minutes.doc
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ECONOMIC DEVELOPMENT CORPORATION
MINUTES
BOARD OF DIRECTORS - REGULAR MEETING
September 24, 2013
CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE

I. CALL TO ORDER

Robert Mundy called the meeting to order at 7:23PM.

II. ROLL CALL

Present: Pat Turner, Robert Mundy, Mark Yeary, Rebecca Mowell,

Absent: Beverly Hayes, Darrell Erwin, Donnie Graham,

III. REGULAR ITEMS

A. Consider setting dates for the October, November, and December meetings.

The board set the dates of October 22, 2013 and November 26, 2013. There will not be a meeting in December 2013.

IV. STAFF ANNOUNCEMENTS/REPORTS

A. Updates and information from the Executive Director.

1. IEDC Website Award
Jack Thompson of Orasi Development announced that the EDC's website, www.gokennedale.com, won silver in the International Economic Development Council's website awards.
2. Employment center code
Bob Hart lead a discussion regarding signage in this area.
3. Surplus Warehouse space
Bob Hart gave an update on this item, noting that Surplus Warehouse would be closing in January of 2014.
4. Discuss TXDOT meeting regarding access
Bob Hart noted that he had recently met with TXDOT representatives regarding access issues on the Parkway in the Oak Crest area and that discussions would be ongoing.
5. Urgent Plus Care
Bob Hart noted that the new emergency medical facility was currently being remodeled and would likely be opening in the Spring of 2014. The facility will also have around 3,000 square feet available for rent.
6. Discuss FY 2013-2014 Budget.

Sakura Dedrick approached the board and gave a brief update on next year's budget, which will be brought to the City Council for consideration on September 26, 2013.

7. Discuss Chamber of Commerce Relations

Bob Hart noted that a Chamber board governance retreat would be held in October, and that efforts to enhance the partnership between the two entities would be discussed.

8. Green Ribbon Grant project status.

Bob Hart noted that the TXDOT project was back on track. He also noted that the city had recently been declared a 'Designated Scenic City' and that the city had also received the '2013 Comprehensive Planning Award' from the Texas Chapter of the American Planning Association.

Related to the executive session items, Bob Hart also noted that due to the recent death of real estate broker Jeremy Alexander, item one would likely be slowed, and that he had recently held a discussion with Tarrant Count related to financial assistance in the Oak Crest area.

No executive session was held.

V. EXECUTIVE SESSION

A. The Economic Development Corporation will meet in closed session pursuant to Section 551.072 of the Texas Government Code to deliberate the purchase, lease, or value of real property.
Discuss the sale of property at 1000 E Kennedale Parkway.

1. Discuss the sale of Oak Crest pad sites.

VI. RECONVENE INTO OPEN SESSION, AND TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION, IF NEEDED

No executive session was held.

VII. ADJOURNMENT

**Motion adjourn. Action Adjourn, Moved By Pat Turner, Seconded By Rebecca Mowell.
Motion Passed Unanimously**

The meeting was adjourned at 7:55 PM.

APPROVED:

President Robert Mundy

ATTEST:

City Secretary Amethyst G. Cirno



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - A.

I. Subject:

Introduction of new members.

II. Originated by:

Bob Hart

III. Summary:

Introduction of new members:

Place 1 - Mike Johnson

Place 3 - Ronald Whitley

Place 5 - Adrienne Kay

IV. Recommendation:

None

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - B.

I. Subject:

Consider appointing a President to the 2013-2014 Economic Development Corporation.

II. Originated by:

III. Summary:

Annual appointment of President.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - C.

I. Subject:

Consider appointing a Vice President to the 2013-2014 Economic Development Corporation.

II. Originated by:

III. Summary:

Consider appointing a Vice President to the 2013-2014 Economic Development Corporation.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - D.

I. Subject:

Consider appointing an EDC Board Member to serve on the TownCenter Development District Board.

II. Originated by:

Bob Hart

III. Summary:

The TDD Board has one slot for an EDC member. Due to recent appointments, the board will need to appoint a member to this position.

Historically the EDC Vice Chair has taken this position.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - E.

I. Subject:

Review and accept the KEDC Financial Report for Aug 2013.

II. Originated by:

Sakura Moten-Dedrick, Director of Finance & IT

III. Summary:

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:

1.	EDC Aug 2013 Financials	20131022 EDC Aug 13 Financials.pdf
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AUG 2013 ECONOMIC DEVELOPMENT CORPORATION FINANCIALS

Budget/Amendment

No changes.

Year-To-Date

- Ad Valorem Tax: Decrease in comparison over this time last year. All MMD taxpayers have been billed accordingly for this fiscal year, but revenue is based solely on when they send in assessments.
- Sales/Beverage Tax: Decrease in comparison over this time last year (see Monthly Graph, 3-Year Historical Graph, 10-Year Historical Data). Please note, sales tax receipts run two months in arrears.
- Investment Earnings: Decrease in comparison over this time last year. Based on record low earning rates.
- Miscellaneous Income: Increase in comparison over this time last year. We received approximately \$84,000 in Feb for the sale of 601 East Kennedale Parkway, as well as approximately \$10,000 for insurance reimbursement on the sign.
- Surplus Sales/Rentals: Decrease in comparison over this time last year. Due to subsidy agreement with Cypress Properties, monthly rental amounts have decreased.
- Transfers: No significant change.
- Personnel: No significant change.
- Supplies: Decrease in comparison over this time last year.
- Maintenance: Decrease in comparison over this time last year.
- Sundry: Decrease in comparison over this time last year.
- Debt: Decrease in comparison over this time last year. Based on bond payment due dates. Last fiscal year included large principal amount that was sent back to state per board's direction and approval.
- Transfers: Slight decrease in comparison over this time last year.
- Capital: Increase in comparison over this time last year. Due to land acquisition purchases tied to Oakcrest/Link/Parkway redevelopment.

Estimate

We anticipate a FY12/13 ending fund balance of (\$426,794)—(\$585,035) operations / \$38,337 capital bond project / \$119,905 reserve bond.

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

INCOME STATEMENT

15: EDC4B FUND

INCOME STATEMENT	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE
OPERATING REVENUES	1,328,404	1,328,404	538,013	650,197	1,066,682	1,066,682	519,901	680,306	(261,722)
OPERATING EXPENDITURES	(2,840,624)	(2,840,624)	(2,002,213)	(2,059,659)	(942,275)	(942,275)	(1,055,852)	(1,150,119)	609,421
OPERATING INCOME/(LOSS)	(1,512,220)	(1,512,220)	(1,464,200)	(1,409,462)	124,407	124,407	(535,951)	(469,813)	347,699
NONOPERATING REVENUES/(EXPENSES)									
INTEREST EARNINGS	250	250	894	967	250	250	470	470	-
TRANSFERS IN	-	-	-	-	-	-	-	-	-
(TRANSFER OUT)	(153,119)	(153,119)	(153,119)	(153,119)	(151,619)	(151,619)	(151,619)	(151,619)	(1,500)
NET OPERATING INCOME/(LOSS)	(1,665,088)	(1,665,088)	(1,616,424)	(1,561,614)	(26,962)	(26,962)	(687,099)	(620,962)	346,199
 BEGINNING FUND BALANCE	 \$ 1,873,131	 \$ 1,597,540	 \$ 1,597,540	 \$ 1,597,540	 \$ 26,452	 \$ 35,926	 \$ 35,926	 \$ 35,926	 \$ 323,848
ENDING FUND BALANCE (EXCLUDING OTHER FUNDS)	\$ 208,043	\$ (67,548)	\$ (18,884)	\$ 35,926	\$ (510)	\$ 8,964	\$ (651,173)	\$ (585,035)	\$ -
95: EDC4B RESERVE FUND	\$ 120,007	\$ 120,006	\$ 119,854	\$ 119,862	\$ 120,066	\$ 120,062	\$ 119,902	\$ 119,905	\$ 120,066
19: EDC4B CAPITAL BOND FUND	\$ 51,705	\$ 119,383	\$ 102,067	\$ 46,182	\$ -	\$ 46,182	\$ 38,334	\$ 38,337	\$ -
ENDING FUND BALANCE (INCLUDING OTHER FUNDS)	\$ 379,755	\$ 171,841	\$ 203,037	\$ 201,970	\$ 119,556	\$ 175,208	\$ (492,937)	\$ (426,794)	\$ 120,066

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

FUND SUMMARY BY CATEGORY

15: EDC48 FUND

CATEGORY	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
BEGINNING FUND BALANCE	\$ 1,873,131	\$ 1,597,540	\$ 1,597,540	\$ 1,597,540	\$ 26,452	\$ 35,926	\$ 35,926	\$ 35,926	\$ 323,848		
AD VALOREM TAXES	42,466	42,466	51,477	54,216	42,466	42,466	33,950	42,167	-	121.2%	79.9%
SALES/BEVERAGE TAXES	352,666	352,666	295,172	387,796	397,660	397,660	219,362	309,197	44,994	83.7%	55.2%
INVESTMENT EARNINGS	250	250	894	967	250	250	470	470	-	357.6%	188.0%
MISCELLANEOUS INCOME	684,000	684,000	5,250	5,250	395,000	395,000	115,795	126,737	(289,000)	0.8%	29.3%
SURPLUS SALES/RENTALS	249,272	249,272	186,114	202,935	231,556	231,556	150,794	202,205	(17,716)	74.7%	65.1%
TRANSFERS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
TOTAL REVENUES	\$ 1,328,654	\$ 1,328,654	\$ 538,907	\$ 651,164	\$ 1,066,932	\$ 1,066,932	\$ 520,371	\$ 680,776	\$(261,722)	40.6%	48.8%
PERSONNEL	-	-	-	-	-	-	-	-	-	0.0%	0.0%
SUPPLIES	21,344	21,344	16,636	17,044	17,344	17,344	10,831	17,344	(4,000)	77.9%	62.4%
MAINTENANCE	22,856	22,856	33,123	35,397	22,856	22,856	22,941	32,094	-	144.9%	100.4%
SUNDRY	269,206	269,206	291,343	331,483	265,771	265,771	263,273	318,516	(3,435)	108.2%	99.1%
DEBT	313,243	313,243	1,250,160	1,254,674	165,757	165,757	167,188	167,188	(130,486)	399.1%	100.9%
TRANSFERS	153,119	153,119	153,119	153,119	151,619	151,619	151,619	151,619	(1,500)	100.0%	100.0%
CAPITAL	2,213,975	2,213,975	410,952	421,062	470,548	470,548	591,620	614,978	(470,000)	18.6%	125.7%
TOTAL EXPENDITURES	\$ 2,993,742	\$ 2,993,742	\$ 2,155,331	\$ 2,212,778	\$ 1,093,894	\$ 1,093,894	\$ 1,207,471	\$ 1,301,738	\$(609,421)	72.0%	110.4%
REVENUES OVER EXPENDITURES	\$(1,665,088)	\$(1,665,088)	\$(1,616,424)	\$(1,561,614)	\$ (26,962)	\$ (26,962)	\$ (687,099)	\$ (620,962)			
ENDING FUND BALANCE	\$ 208,043	\$ (67,548)	\$ (18,884)	\$ 35,926	\$ (510)	\$ 8,964	\$ (651,173)	\$ (585,035)			
ADJUSTMENTS											
FUND BALANCE AS % OF EXP	6.9%	-2.3%	-0.9%	1.6%	0.0%	0.8%	-53.9%	-44.9%			
RESERVE (NO REQUIREMENT)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -			
RESERVE SURPLUS/(SHORTFALL)	\$ 208,043	\$ (67,548)	\$ (18,884)	\$ 35,926	\$ (510)	\$ 8,964	\$ (651,173)	\$ (585,035)	\$ -		

**CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES**

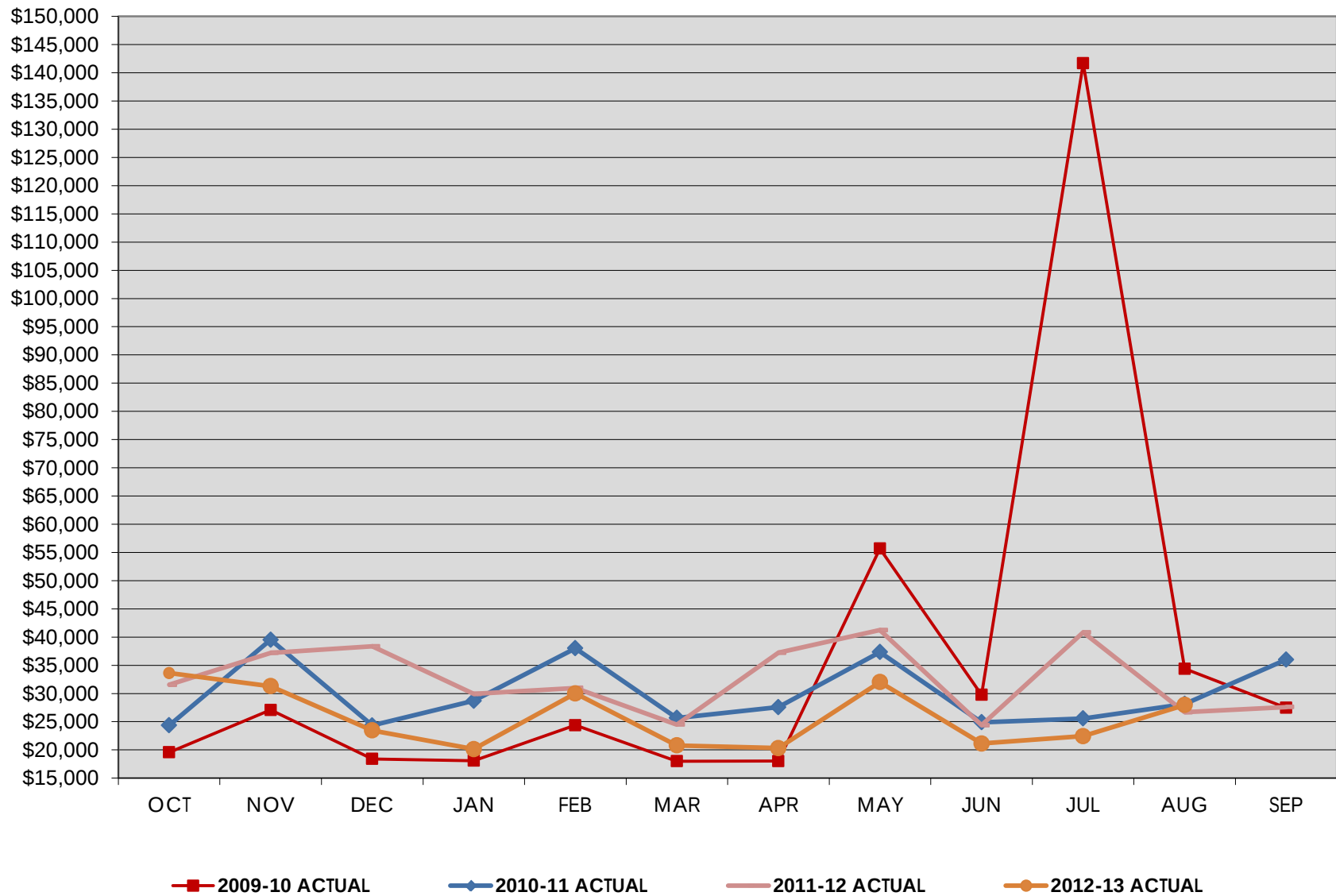
REVENUE LINE ITEM SUMMARY

15: EDC48 FUND

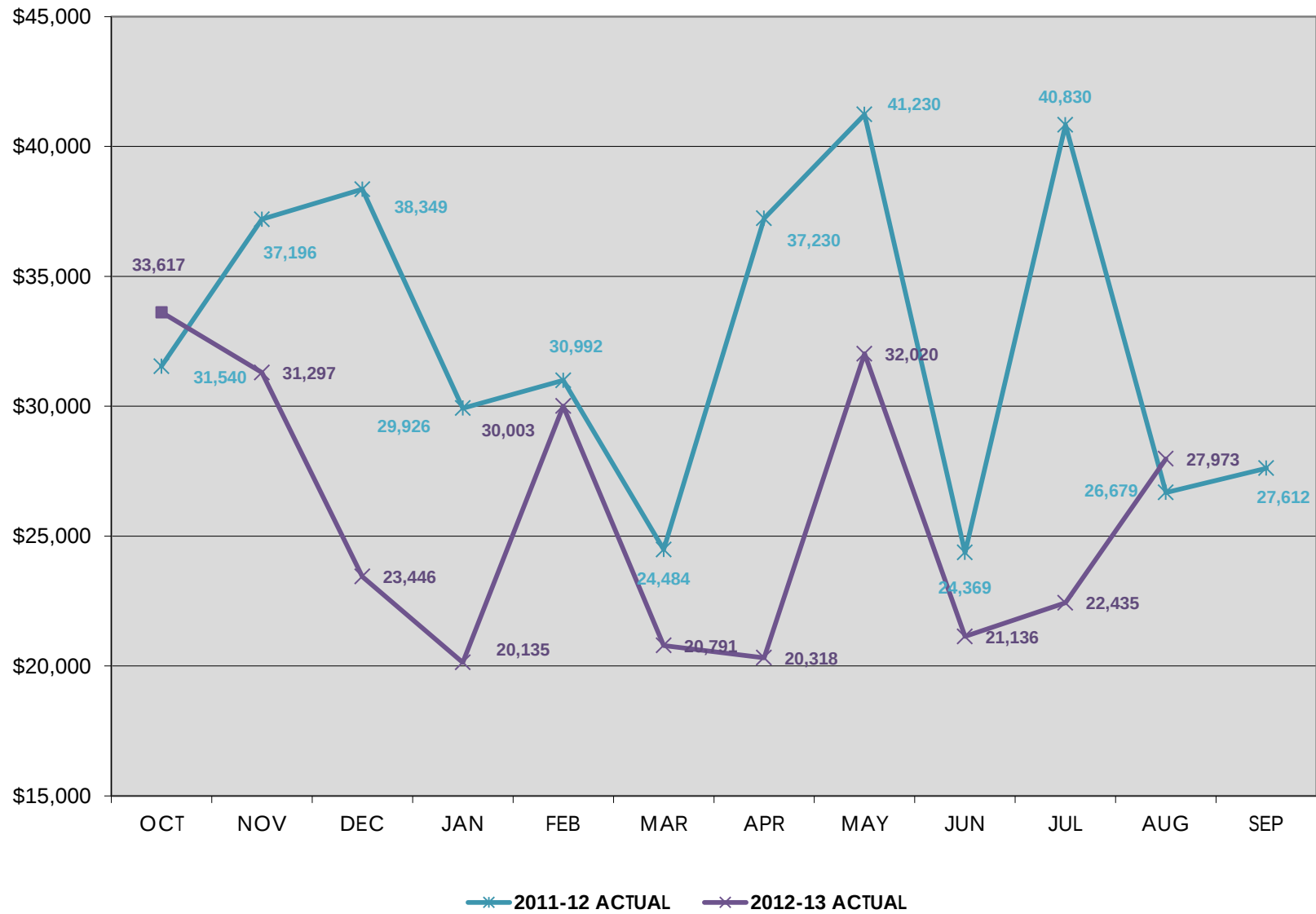
ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
4001-00-00	PROPERTY TAX-CURRENT YEAR	-	-	-	-	-	-	-	-	-	0.0%	0.0%
4002-00-00	M M D TAX-CURRENT YEAR	42,466	42,466	51,477	54,216	42,466	42,466	33,950	42,167	-	121.2%	79.9%
	AD VALOREM TAXES	\$ 42,466	\$ 42,466	\$ 51,477	\$ 54,216	\$ 42,466	\$ 42,466	\$ 33,950	\$ 42,167	\$ -	121.2%	79.9%
4081-00-00	SALES TAX	352,666	352,666	295,172	387,796	397,660	397,660	219,362	309,197	44,994	83.7%	55.2%
4082-00-00	MIXED BEVERAGE TAX	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	SALES/BEVERAGE TAXES	\$ 352,666	\$ 352,666	\$ 295,172	\$ 387,796	\$ 397,660	\$ 397,660	\$ 219,362	\$ 309,197	\$ 44,994	83.7%	55.2%
4401-00-00	INVESTMENT INCOME	250	250	894	967	250	250	470	470	-	357.6%	188.0%
	INVESTMENT EARNINGS	\$ 250	\$ 250	\$ 894	\$ 967	\$ 250	\$ 250	\$ 470	\$ 470	\$ -	357.6%	188.0%
4409-00-00	MISCELLANEOUS INCOME	684,000	684,000	5,250	5,250	395,000	395,000	104,852	104,852	(289,000)	0.8%	26.5%
4411-00-00	TEXAS LEVERAGE FUND PROGRAM	-	-	-	-	-	-	-	-	-	0.0%	0.0%
4415-00-00	INSURANCE REIMBURSEMENTS	-	-	-	-	-	-	10,943	21,885	-	0.0%	#DIV/0!
	MISCELLANEOUS INCOME	\$ 684,000	\$ 684,000	\$ 5,250	\$ 5,250	\$ 395,000	\$ 395,000	\$ 115,795	\$ 126,737	\$(289,000)	0.8%	29.3%
4805-00-00	RENTAL FEES-SHOPPING CENTER	245,272	245,272	184,459	201,256	227,556	227,556	149,083	198,205	(17,716)	75.2%	65.5%
4806-00-00	RENTAL INSURANCE	4,000	4,000	1,655	1,679	4,000	4,000	1,710	4,000	-	41.4%	42.8%
	SURPLUS SALES/RENTALS	\$ 249,272	\$ 249,272	\$ 186,114	\$ 202,935	\$ 231,556	\$ 231,556	\$ 150,794	\$ 202,205	\$ (17,716)	74.7%	65.1%
4902-00-00	PROCEEDS - DEBT/LOAN/LEASE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	TRANSFERS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
	TOTAL REVENUES	\$ 1,328,654	\$ 1,328,654	\$ 538,907	\$ 651,164	\$ 1,066,932	\$ 1,066,932	\$ 520,371	\$ 680,776	\$(261,722)	40.6%	48.8%
	TOTAL REVENUES (EXCLUDING INTEREST/TRANSFERS)	\$ 1,328,404	\$ 1,328,404	\$ 538,013	\$ 650,197	\$ 1,066,682	\$ 1,066,682	\$ 508,959	\$ 658,421	\$(261,722)		
	10% ADMIN CHARGE-GENERAL FUND	132,840	132,840	33,952	61,890	106,668	106,668	-	-	(26,172)		

Economic Development Corporation Sales Tax Revenue

Three Year History



Economic Development Corporation Sales Tax Revenue Monthly History



Sales Tax Collections

ECONOMIC DEVELOPMENT CORPORATION 4B
SALES TAX - \$0.005

	2003-04 ACTUAL	2004-05 ACTUAL	2005-06 ACTUAL	2006-07 ACTUAL	2007-08 ACTUAL	2008-09 ACTUAL	2009-10 ACTUAL	2010-11 ACTUAL	2011-12 ACTUAL	2012-13 BUDGET	2012-13 ACTUAL	2012-13 YTD	GAIN/ LOSS	GAIN/ LOSS	YTD CUM	2012-13 ESTIMATE
OCT	26,737	27,574	30,493	26,719	21,880	22,001	19,568	24,368	31,540	33,287	33,617	33,617	329	6.6%	6.6%	33,617
NOV	33,807	28,806	33,284	41,109	30,548	33,732	27,081	39,515	37,196	37,693	31,297	64,913	(6,397)	-15.9%	-5.6%	31,297
DEC	26,428	23,373	24,372	23,107	23,438	30,093	18,417	24,331	38,349	38,847	23,446	88,359	(15,401)	-38.9%	-17.5%	23,446
JAN	21,991	22,728	23,443	26,331	22,677	19,433	18,102	28,700	29,926	30,424	20,135	108,495	(10,288)	-32.7%	-20.8%	20,135
FEB	35,744	33,862	35,625	29,751	29,839	33,556	24,379	38,020	30,992	31,490	30,003	138,498	(1,487)	-3.2%	-17.6%	30,003
MAR	22,465	21,345	24,975	16,997	21,830	17,063	18,010	25,672	24,484	24,982	20,791	159,289	(4,190)	-15.1%	-17.2%	20,791
APR	23,465	21,936	24,036	25,672	24,231	22,636	18,030	27,583	37,230	37,727	20,318	179,608	(17,409)	-45.4%	-21.8%	20,318
MAY	36,121	36,355	35,851	32,194	31,278	30,806	55,683	37,335	41,230	41,728	32,020	211,628	(9,708)	-22.3%	-21.9%	32,020
JUN	33,889	24,011	27,616	26,993	24,985	21,608	29,762	24,899	24,369	24,866	21,136	232,764	(3,730)	-13.3%	-21.2%	21,136
JUL	25,928	25,987	24,299	27,477	30,517	17,906	141,681	25,572	40,830	41,327	22,435	255,199	(18,892)	-45.1%	-24.1%	22,435
AUG	30,767	34,222	35,983	28,340	38,499	33,664	34,381	28,137	26,679	27,177	27,973	283,172	796	4.8%	-22.0%	27,973
SEP	25,710	22,677	27,368	30,430	23,534	24,245	27,457	36,010	27,612	28,112	26,025	309,197	(2,087)	-5.7%	-20.8%	26,025
	343,051	322,876	347,346	335,121	323,256	306,744	432,550	360,141	390,438	397,660	309,197		(88,463)			309,197
	5.41%	-5.88%	7.58%	-3.52%	-3.54%	-5.11%	41.01%	-16.74%	8.41%	1.85%	-20.81%					-20.81%

FY2012-2013[illegible]

**CYPRESS HISTORY FOR KENNEDALE TOWN SHOPPING CENTER
FY2011-2012**

ACCOUNT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	TOTAL
INCOME													
Rental Income	\$ 17,468.00	\$ 17,468.00	\$ 17,468.00	\$ 17,468.00	\$ 14,668.00	\$ 15,090.92	\$ 15,090.92	\$ 15,090.92	\$ 6,690.92	\$ 23,490.92	\$ 16,059.92	\$ 16,059.92	\$ 192,114.44
Tax Escrows	\$ 3,224.02	\$ 11,399.98	\$ 3,224.02	\$ 3,224.02	\$ 2,898.37	\$ 2,738.95	\$ 13,812.15	\$ 2,738.95	\$ 393.26	\$ 5,084.64	\$ 2,738.95	\$ 2,738.95	\$ 54,216.26
Insurance Escrows	\$ 38.37	\$ 38.37	\$ 38.37	\$ 38.37	\$ 23.95	\$ 24.37	\$ 1,355.60	\$ 24.37	\$ 24.37	\$ 24.37	\$ 24.37	\$ 24.37	\$ 1,679.25
CAM Escrows	\$ 814.70	\$ 814.70	\$ 814.70	\$ 814.70	\$ 737.16	\$ 737.16	\$ 722.69	\$ 737.16	\$ 737.16	\$ 737.16	\$ 737.16	\$ 737.16	\$ 9,141.61
Security Deposit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL INCOME	\$ 21,545.09	\$ 29,721.05	\$ 21,545.09	\$ 21,545.09	\$ 18,327.48	\$ 18,591.40	\$ 30,981.36	\$ 18,591.40	\$ 7,845.71	\$ 29,337.09	\$ 19,560.40	\$ 19,560.40	\$ 257,151.56
EXPENSES													
General & Admin	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Property Mgmt	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 6,000.00
Office Expenses	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Legal Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Rental Commissions	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Electricity	\$ 329.26	\$ 361.84	\$ 384.35	\$ 458.41	\$ -	\$ -	\$ 749.37	\$ -	\$ 325.66	\$ 363.76	\$ 375.06	\$ 310.85	\$ 3,658.56
Sweeping	\$ 326.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 326.00
Porter service	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Landscape	\$ 638.28	\$ 638.28	\$ 638.28	\$ 1,442.68	\$ 638.00	\$ 638.28	\$ 638.28	\$ 638.28	\$ 638.28	\$ -	\$ 638.28	\$ 638.28	\$ 7,825.20
Fire Sprinkler/Alarm	\$ 150.00	\$ -	\$ -	\$ 150.00	\$ -	\$ -	\$ 150.00	\$ -	\$ -	\$ 150.00	\$ -	\$ 200.24	\$ 800.24
Asphalt	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,217.90	\$ 104.42	\$ 385.56	\$ 2,707.88
Landscape Materials	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,603.28	\$ -	\$ -	\$ 1,603.28
Maintenance/Construction	\$ 3,299.60	\$ 5,132.36	\$ -	\$ 1,650.00	\$ 607.58	\$ 1,065.00	\$ 1,902.23	\$ -	\$ 1,327.34	\$ 5,050.00	\$ 275.00	\$ 1,050.00	\$ 21,359.11
Roofing Repair	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Signage	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL EXPENSES	\$ 5,243.14	\$ 6,632.48	\$ 1,522.63	\$ 4,201.09	\$ 1,745.58	\$ 2,203.28	\$ 3,939.88	\$ 1,138.28	\$ 2,791.28	\$ 9,884.94	\$ 1,892.76	\$ 3,084.93	\$ 44,280.27
ADJUSTMENTS													
Operating Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL ADJUSTMENTS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
NET PROFIT/(LOSS) - CHECK	\$ 16,301.95	\$ 23,088.57	\$ 20,022.46	\$ 17,344.00	\$ 16,581.90	\$ 16,388.12	\$ 27,041.48	\$ 17,453.12	\$ 5,054.43	\$ 19,452.15	\$ 17,667.64	\$ 16,475.47	\$ 212,871.29
Total Rental Income Posted	\$ 18,282.70	\$ 18,282.70	\$ 18,282.70	\$ 18,282.70	\$ 15,405.16	\$ 15,828.08	\$ 15,813.61	\$ 15,828.08	\$ 7,428.08	\$ 24,228.08	\$ 16,797.08	\$ 16,797.08	\$ 201,256.05

**CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES**

EXPENDITURE LINE ITEM SUMMARY

**15: EDC48 FUND
01: ADMINISTRATION**

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5101-01-00	SALARIES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5107-01-00	OVERTIME	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5111-01-00	AUTO ALLOWANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5114-01-00	LONGEVITY	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5115-01-00	RETIREMENT	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5116-01-00	UNEMPLOYMENT INSURANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5117-01-00	FICA	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5118-01-00	MEDICAL INSURANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5120-01-00	LIFE INSURANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5121-01-00	DENTAL INSURANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5122-01-00	VISION INSURANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5190-01-00	VACATION/SICK/TERM/LEAVE ADJ	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	PERSONNEL	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
5220-01-00	UNIFORMS	300	300	-	-	300	300	-	300	-	0.0%	0.0%
5240-01-00	PRINTED SUPPLIES	16,544	16,544	8,897	9,305	16,544	16,544	10,831	16,544	-	93.8%	20.3%
5260-01-00	GENERAL OFFICE SUPPLIES	250	250	-	-	250	250	-	250	-	30.9%	4.7%
5261-01-00	POSTAGE	250	250	58	58	250	250	-	250	-	0.0%	11.8%
5280-01-00	MINOR EQUIP/SMALL TOOLS<\$5K	-	-	-	-	-	-	-	-	-	#DIV/0!	0.0%
5290-01-00	EXPENDABLE SUPPLIES	4,000	4,000	7,681	7,681	-	-	-	-	(4,000)	1.2%	444.4%
	SUPPLIES	\$ 21,344	\$ 21,344	\$ 16,636	\$ 17,044	\$ 17,344	\$ 17,344	\$ 10,831	\$ 17,344	\$ (4,000)	86.5%	82.5%
5403-01-00	BUILDING MAINTENANCE	-	-	775	775	-	-	-	-	-	#DIV/0!	0.0%
5440-01-00	OFFICE EQUIP/SOFTWARE MAINT	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	MAINTENANCE	\$ -	\$ -	\$ 775	\$ 775	\$ -	\$ -	\$ -	\$ -	\$ -	#DIV/0!	0.0%
5501-01-00	ADVERTISING	5,000	5,000	2,871	2,871	5,000	5,000	6,604	6,604	-	40.2%	28.7%
5510-01-00	ASSOC DUES/PUBLICATIONS	2,350	2,350	7,334	7,334	9,775	9,775	10,980	10,985	7,425	1737.5%	72.9%
5512-01-00	CONTRACTUAL SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5525-01-00	TRAINING/SEMINARS	1,000	1,000	-	395	1,000	1,000	270	270	-	0.0%	0.0%
5565-01-00	LEGAL SERVICES	10,000	10,000	40,249	40,249	16,000	16,000	100	16,000	6,000	63.3%	30.3%
5567-01-00	AUDIT SERVICES	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	-	37.5%	100.0%
5569-01-00	IT SUPPORT	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5570-01-00	SPECIAL SERVICES	61,036	61,036	89,064	95,805	49,036	49,036	70,254	74,304	(12,000)	157.3%	132.7%
5575-01-00	EQUIPMENT RENTAL	-	-	-	-	-	-	-	-	-	#DIV/0!	0.0%
5578-01-00	TRAVEL	700	700	-	-	700	700	186	700	-	17.4%	3.2%
5580-01-00	ENGINEERING SERVICES	-	-	68,742	84,330	50,000	50,000	18,999	50,000	50,000	0.0%	0.0%
5585-01-00	TELEPHONE SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5595-01-00	ADMIN CHARGE-GENERAL FUND	132,840	132,840	53,801	61,890	106,668	106,668	-	-	(26,172)	125.2%	96.2%
	SUNDRY	\$ 214,426	\$ 214,426	\$ 263,562	\$ 294,374	\$ 239,679	\$ 239,679	\$ 108,893	\$ 160,363	\$ 25,253	126.3%	102.8%
5610-01-00	VISUAL GRANT	-	-	-	-	-	-	6,000	6,000	-	0.0%	0.0%
5615-01-00	FUNCTIONAL GRANT	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5625-01-00	ISSUANCE COST	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	DEBT	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,000	\$ 6,000	\$ -	0.0%	0.0%
5701-01-00	TRANSFER OUT-GENERAL FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5714-01-00	TRANSFER OUT-DEDICATION FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5795-01-00	TRANSFER OUT-EDC RESERVE FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	TRANSFERS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
5800-01-00	LAND	325,000	325,000	164,582	164,582	-	-	1,662	1,662	(325,000)	50.6%	#DIV/0!
5813-01-00	KENNEDALE ENTRANCE SIGN	45,000	45,000	-	-	45,000	45,000	-	-	-	0.0%	0.0%
5820-01-00	BUILDING IMPROVEMENT	15,000	15,000	39,209	39,209	-	-	-	-	(15,000)	261.4%	0.0%
5875-01-00	CONSTRUCTION	-	-	83,138	83,138	-	-	-	-	-	#DIV/0!	0.0%
	CAPITAL	\$ 385,000	\$ 385,000	\$ 286,928	\$ 286,928	\$ 45,000	\$ 45,000	\$ 1,662	\$ 1,662	\$ (340,000)	74.5%	3.7%
	TOTAL EXPENDITURES	\$ 620,770	\$ 620,770	\$ 567,901	\$ 599,121	\$ 302,022	\$ 302,022	\$ 127,386	\$ 185,369	\$ (318,747)	91.5%	42.2%

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

EXPENDITURE LINE ITEM SUMMARY

15: EDC48 FUND
01: ADMINISTRATION
03: DEBT SERVICE

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5620-01-03	ISSUANCE COSTS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5621-01-03	PAYING AGENT FEES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5643-01-03	2007 \$1.2M TAX BOND-INTEREST	74,365	74,365	74,210	74,210	71,585	71,585	71,531	71,531	(2,780)	99.8%	99.9%
5644-01-03	2007 \$1.2M TAX BOND-PRINCIPAL	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	-	100.0%	100.0%
5645-01-03	2011 \$1.7M TX LEVERAGE-INT	50,479	50,479	26,938	28,594	19,359	19,359	17,702	17,702	(31,120)	53.4%	91.4%
5646-01-03	2011 \$1.7M TX LEVERAGE-PRI	131,399	131,399	1,092,012	1,094,870	34,813	34,813	31,954	31,954	(96,586)	831.1%	91.8%
	DEBT	\$ 296,243	\$ 296,243	\$ 1,233,160	\$ 1,237,674	\$ 165,757	\$ 165,757	\$161,188	\$ 161,188	\$ (130,486)	416.3%	97.2%
5702-01-03	TRANSFER OUT-DEBT SERVICE FUND	153,119	153,119	153,119	153,119	151,619	151,619	151,619	151,619	(1,500)	100.0%	100.0%
	TRANSFER	\$ 153,119	\$ 153,119	\$ 153,119	\$ 153,119	\$ 151,619	\$ 151,619	\$151,619	\$ 151,619	\$ (1,500)	100.0%	100.0%
	TOTAL EXPENDITURES	\$ 449,362	\$ 449,362	\$ 1,386,278	\$ 1,390,793	\$ 317,376	\$ 317,376	\$312,806	\$ 312,806	\$ (131,986)	308.5%	98.6%

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

EXPENDITURE LINE ITEM SUMMARY

15: EDC48 FUND
02: TOWN SHOPPING CENTER

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5280-02-00	MINOR EQUIP/SMALL TOOLS<\$5K SUPPLIES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
5403-02-00	BUILDING MAINTENANCE MAINTENANCE	22,856	22,856	32,348	34,622	22,856	22,856	22,941	32,094	-	141.5%	100.4%
		\$ 22,856	\$ 22,856	\$ 32,348	\$ 34,622	\$ 22,856	\$ 22,856	\$ 22,941	\$ 32,094	\$ -	141.5%	100.4%
5501-02-00	ADVERTISING	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5510-02-00	ASSOC DUES/PUBLICATIONS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5512-02-00	CONTRACTUAL SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5530-02-00	ELECTRIC SERVICES	4,200	4,200	3,348	3,659	4,200	4,200	3,729	5,012	-	79.7%	88.8%
5545-02-00	INSURANCE-PROPERTY	4,000	4,000	5,881	5,881	4,000	4,000	8,476	8,476	-	147.0%	211.9%
5565-02-00	LEGAL SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5570-02-00	SPECIAL SERVICES	36,580	36,580	18,552	19,052	17,892	17,892	15,447	17,938	(18,688)	50.7%	86.3%
	SUNDRY	\$ 44,780	\$ 44,780	\$ 27,781	\$ 28,592	\$ 26,092	\$ 26,092	\$ 27,653	\$ 31,426	\$ (18,688)	62.0%	106.0%
	TOTAL EXPENDITURES	\$ 67,636	\$ 67,636	\$ 60,129	\$ 63,214	\$ 48,948	\$ 48,948	\$ 50,594	\$ 63,520	\$ (18,688)	88.9%	103.4%

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

EXPENDITURE LINE ITEM SUMMARY

15: EDC48 FUND
03: TOWN CENTER REDEVELOPMENT

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5570-03-00	SPECIAL SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5579-03-00	ARCHITECT/DESIGN SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5580-03-00	ENGINEERING SERVICES	10,000	10,000	-	8,516	-	-	2,550	2,550	(10,000)	0.0%	#DIV/0!
	SUNDRY	\$ 10,000	\$ 10,000	\$ -	\$ 8,516	\$ -	\$ -	\$ 2,550	\$ 2,550	\$ (10,000)	0.0%	#DIV/0!
5800-03-00	LAND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5847-03-00	CONSTRUCTION	160,000	160,000	124,024	134,134	30,000	30,000	21,274	44,632	(130,000)	77.5%	70.9%
	CAPITAL	\$ 160,000	\$ 160,000	\$ 124,024	\$ 134,134	\$ 30,000	\$ 30,000	\$ 21,274	\$ 44,632	\$ (130,000)	77.5%	70.9%
		\$ 170,000	\$ 170,000	\$ 124,024	\$ 142,650	\$ 30,000	\$ 30,000	\$ 23,824	\$ 47,182	\$ (140,000)	73.0%	79.4%

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

EXPENDITURE LINE ITEM SUMMARY

15: EDC48 FUND
04: TEXAS LEVERAGE PROGRAM

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5580-03-00	ENGINEERING SERVICES	-	-	-	-	-	-	124,177	124,177	-	0.0%	#DIV/0!
	SUNDRY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 124,177	\$ 124,177	\$ -	0.0%	#DIV/0!
5615-04-00	FUNCTIONAL GRANT	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5620-04-00	ISSUANCE COSTS	17,000	17,000	17,000	17,000	-	-	-	-	(17,000)	100.0%	0.0%
	DEBT	\$ 17,000	\$ 17,000	\$ 17,000	\$ 17,000	\$ -	\$ -	\$ -	\$ -	\$ (17,000)	100.0%	0.0%
5800-04-00	LAND	-	-	-	-	-	-	568,684	568,684	-	0.0%	#DIV/0!
5847-04-00	CONSTRUCTION	1,668,975	1,668,975	-	-	395,548	395,548	-	-	(1,273,427)	0.0%	0.0%
	CAPITAL	\$ 1,668,975	\$ 1,668,975	\$ -	\$ -	\$ 395,548	\$ 395,548	\$ 568,684	\$ 568,684	\$ (1,273,427)	0.0%	143.8%
		\$ 1,685,975	\$ 1,685,975	\$ 17,000	\$ 17,000	\$ 395,548	\$ 395,548	\$ 692,861	\$ 692,861	\$ (1,290,427)	1.0%	175.2%

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

FUND SUMMARY BY CATEGORY

19: EDC4B CAPITAL BOND FUND

CATEGORY	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
BEGINNING FUND BALANCE	\$ 396,455	\$ 464,133	\$ 464,133	\$ 464,133	\$ -	\$ 46,182	\$ 46,182	\$ 46,182			
INVESTMENT EARNINGS	250	250	247	268	-	-	97	100	(250)	99.0%	#DIV/0!
TRANSFERS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
TOTAL REVENUES	\$ 250	\$ 250	\$ 247	\$ 268	\$ -	\$ -	\$ 97	\$ 100	\$ (250)	99.0%	#DIV/0!
MAINTENANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
SUNDRY	250,000	250,000	31,220	32,507	-	-	6,779	6,779	(250,000)	12.5%	#DIV/0!
CAPITAL	95,000	95,000	331,093	385,711	-	-	1,166	1,166	(95,000)	348.5%	#DIV/0!
TOTAL EXPENDITURES	\$ 345,000	\$ 345,000	\$ 362,313	\$ 418,218	\$ -	\$ -	\$ 7,945	\$ 7,945	\$ (345,000)	105.0%	#DIV/0!
REVENUES OVER EXPENDITURES	\$ (344,750)	\$ (344,750)	\$ (362,066)	\$ (417,951)	\$ -	\$ -	\$ (7,848)	\$ (7,845)	\$ 344,750		
ENDING FUND BALANCE	\$ 51,705	\$ 119,383	\$ 102,067	\$ 46,182	\$ -	\$ 46,182	\$ 38,334	\$ 38,337	\$ 344,750		
ADJUSTMENTS											
FUND BALANCE AS % OF EXP	15.0%	34.6%	28.2%	11.0%	N/A	N/A	482.5%	482.5%			
RESERVE (NO REQUIREMENT)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -			
RESERVE SURPLUS/(SHORTFALL)	\$ 51,705	\$ 119,383	\$ 102,067	\$ 46,182	\$ -	\$ 46,182	\$ 38,334	\$ 38,337			

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

REVENUE/EXPENDITURE LINE ITEM SUMMARY

19: EDC4B CAPITAL BOND FUND

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
4401-00-00	INVESTMENT INCOME	250	250	247	268	-	-	97	100	(250)	99.0%	#DIV/0!
	INVESTMENT EARNINGS	\$ 250	\$ 250	\$ 247	\$ 268	\$ -	\$ -	\$ 97	\$ 100	\$ (250)	99.0%	#DIV/0!
4913-00-00	TRANSFER IN-CAPITAL BOND FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	TRANSFERS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
	TOTAL REVENUES	\$ 250	\$ 250	\$ 247	\$ 268	\$ -	\$ -	\$ 97	\$ 100	\$ (250)	99.0%	#DIV/0!

19: EDC4B CAPITAL BOND FUND
01: TOWN CENTER REDEVELOPMENT

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
5403-01-00	BUILDING MAINTENANCE	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	MAINTENANCE	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
5525-01-00	TRAINING/SEMINARS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5570-01-00	SPECIAL SERVICES	240,000	240,000	13,750	13,750	-	-	-	-	(240,000)	5.7%	0.0%
5579-01-00	ARCHITECT/DESIGN SERVICES	-	-	-	-	-	-	-	-	-	0.0%	0.0%
5580-01-00	ENGINEERING SERVICES	10,000	10,000	17,470	18,757	-	-	6,779	6,779	(10,000)	174.7%	#DIV/0!
	SUNDRY	\$ 250,000	\$ 250,000	\$ 31,220	\$ 32,507	\$ -	\$ -	\$ 6,779	\$ 6,779	\$ (250,000)	12.5%	#DIV/0!
5800-01-00	LAND	25,000	25,000	-	-	-	-	-	-	(25,000)	0.0%	0.0%
5847-01-00	CONSTRUCTION	70,000	70,000	331,093	385,711	-	-	1,166	1,166	(70,000)	473.0%	#DIV/0!
	CAPITAL	\$ 95,000	\$ 95,000	\$ 331,093	\$ 385,711	\$ -	\$ -	\$ 1,166	\$ 1,166	\$ (95,000)	348.5%	#DIV/0!
	TOTAL EXPENDITURES	\$ 345,000	\$ 345,000	\$ 362,313	\$ 418,218	\$ -	\$ -	\$ 7,945	\$ 7,945	\$ (345,000)	105.0%	#DIV/0!

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

FUND SUMMARY BY CATEGORY

95: EDC4B RESERVE FUND

CATEGORY	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
BEGINNING FUND BALANCE	\$ 119,767	\$ 119,766	\$ 119,766	\$ 119,766	\$ 119,866	\$ 119,862	\$ 119,862	\$ 119,862			
INVESTMENT EARNINGS	240	240	88	96	200	200	40	43	(40)	36.6%	20.1%
TRANSFERS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
TOTAL REVENUES	\$ 240	\$ 240	\$ 88	\$ 96	\$ 200	\$ 200	\$ 40	\$ 43	\$ (40)	36.6%	20.1%
TRANSFERS	-	-	-	-	-	-	-	-	-	0.0%	0.0%
TOTAL EXPENDITURES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
REVENUES OVER EXPENDITURES	\$ 240	\$ 240	\$ 88	\$ 96	\$ 200	\$ 200	\$ 40	\$ 43	\$ (40)		
ENDING FUND BALANCE	\$ 120,007	\$ 120,006	\$ 119,854	\$ 119,862	\$ 120,066	\$ 120,062	\$ 119,902	\$ 119,905	\$ (40)		
ADJUSTMENTS						-	-	-			
FUND BALANCE AS % OF EXP	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A			
RESERVE (\$112,606 REQUIREMENT)	\$ 112,606	\$ 112,606	\$ 112,606	\$ 112,606	\$ 112,606	\$ 112,606	\$ 112,606	\$ 112,606			
RESERVE SURPLUS/(SHORTFALL)	\$ 7,401	\$ 7,400	\$ 7,248	\$ 7,256	\$ 7,460	\$ 7,456	\$ 7,296	\$ 7,299			

CITY OF KENNEDALE, TEXAS
ANNUAL PROGRAM OF SERVICES

REVENUE/EXPENDITURE LINE ITEM SUMMARY

95: EDC48 RESERVE FUND

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD AUG	FY11-12 ACTUAL	FY12-13 PROPOSED	FY12-13 AMENDED	FY12-13 YTD AUG	FY12-13 ESTIMATE	CY - PY CHANGE	FY11-12 YTD %	FY12-13 YTD %
4401-00-00	INVESTMENT INCOME	240	240	88	96	200	200	40	43	(40)	36.6%	20.1%
	INVESTMENT EARNINGS	\$ 240	\$ 240	\$ 88	\$ 96	\$ 200	\$ 200	\$ 40	\$ 43	\$ (40)	36.6%	20.1%
4915-00-00	TRANSFER IN-EDC FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
4920-00-00	TRANSFER IN	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	OTHER AGENCY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
	TOTAL REVENUES	\$ 240	\$ 240	\$ 88	\$ 96	\$ 200	\$ 200	\$ 40	\$ 43	\$ (40)	36.6%	20.1%

95: EDC48 RESERVE FUND

ACCOUNT	ACCOUNT NAME	FY11-12 BUDGET	FY11-12 AMENDED	FY11-12 YTD MAR	FY11-12 ACTUAL	FY11-12 PROPOSED	FY11-12 AMENDED	FY11-12 YTD MAR	FY11-12 ESTIMATE	CY - PY CHANGE	FY09-10 YTD %	FY10-11 YTD %
5715-00-00	TRANSFER OUT-EDC FUND	-	-	-	-	-	-	-	-	-	0.0%	0.0%
	TRANSFERS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%
	TOTAL EXPENDITURES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0.0%	0.0%



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - F.

I. Subject:

Consider authorizing the Executive Director to execute a second amendment to the development schedule of the Economic Development Corporation's agreement for development of the Kennedale TownCenter.

II. Originated by:

III. Summary:

Due to the slow leasing of the TownCenter, David Johnson has requested the EDC to amend the development agreement to delay the future building requirement by one year. He needs to lease the two additional spaces so he can obtain financing on the second building. The requested delay is for the second building to be built in 2014.

This seems to be a reasonable request, especially in light of the general economy and the closing of Surplus Warehouse;
therefore I would recommend such a modification.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:

1.	Second Amendment	Development of TownCenter - Second Amendment.docx
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**SECOND AMENDMENT TO
ECONOMIC DEVELOPMENT AGREEMENT
FOR DEVELOPMENT OF KENNEDALE TOWNCENTER**

This Second Amendment to Economic Development Agreement (the “Second Amendment”) is entered into between Kennedale TownCenter, L.P., (the “Partnership”) and the Kennedale Economic Development Corporation (“Corporation”), effective on October 22, 2013.

Recitals:

A. Partnership and Corporation entered into that certain Economic Development Agreement for Development of Kennedale TownCenter dated March 30, 2010 (the “Development Agreement”).

B. Partnership and Corporation desire to modify the Development Agreement, as set forth in this Second Amendment.

Now, therefore, for a good and valuable consideration, Partnership and Corporation agree as follows:

1. The “Improvements Phasing Chart” as set forth in Par. 4(b) of the Development Agreement is deleted in its entirety, and replaced with the following:

Improvements Phasing Chart

<u>Phase</u>	<u>Building to be Constructed</u>	<u>Minimum Size (sqft)</u>	<u>Commencement of Construction</u>	<u>Estimated Construction Costs</u>
1	(Existing Building 1)	N/A	N/A	N/A
2	5	8,820	2012	\$882,000
3	7	7,620	2014	\$762,000
4	4	4,500	2015	\$450,000
5	3	9,810	2016	981,000
6	2	6,960	2017	696,000
7	Section House	N/A	N/A	N/A
8	6	6,600	2023	\$660,000

2. Except as otherwise provided herein, all capitalized terms used but not defined herein shall have the meaning ascribed in the Development Agreement.

3. The Development Agreement is in full force and effect, as modified by this Second Amendment.

4. This Second Amendment may be executed in counterparts, which taken together shall constitute one agreement. Electronic signatures shall be considered originals.

EXECUTED this 22nd day of October 2013
to be EFFECTIVE on the date set forth above.

**KENNEDALE ECONOMIC
DEVELOPMENT CORPORATION**

By: _____
Robert Mundy, Board President

ATTEST:

Board Secretary

KENNEDALE TOWNCENTER, L.P.

By: KTC, L.L.C., its General Partner

By: _____
David G. Johnson, Manager



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - G.

I. Subject:

Consider making recommendations concerning the proposed form based code in the Employment Center area.

II. Originated by:

Bob Hart

III. Summary:

The Planning and Zoning Commission is preparing a recommendation for the City Council relative to the employment center form based code for the Oak Crest area. The code applies to land owned by the EDC. The EDC may wish to review and submit comments or recommendations to the city council prior to adoption. A comment sheet will be provided following P&Z action during their regularly scheduled meeting.

IV. Recommendation:

Approve

V. Alternative Actions:

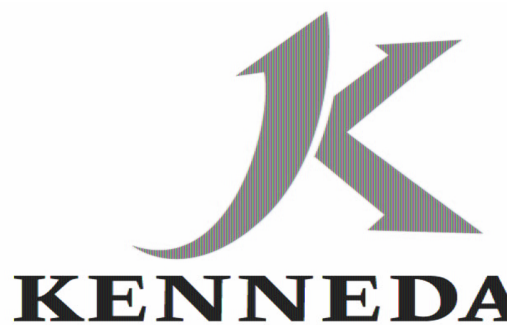
VI. Attachments:

1.	draft	PZ revised Employment Center Code, Corridor Commercial Phase 1.doc
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Employment Center District Code

City of Kennedale

Adopted [month] 2013



EMPLOYMENT CENTER CODE

TABLE OF CONTENTS

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SECTION 5.	BUILDING DESIGN Entry Orientation Glazing/Fenestration Façade Articulation Building Materials	17
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EXHIBITS

Exhibit A	Regulation Plan and Description of Boundaries
Exhibit B	TBD

APPENDICES

- Appendix A. Definitions
- Appendix B. Native Plants
- Appendix C. Irrigation
- Appendix D. Photo & Illustration Credits

SECTION 1. PURPOSE & INTENT

This Code sets forth regulations and standards for the Employment Center Zoning district. The Employment Center is a redevelopment district; most of the properties have previously been developed, and many of these properties are now vacant lots or buildings awaiting reuse. The Employment Center is envisioned as a series of sub-districts, each implementing a specific redevelopment vision based on the context of the site. Standards for the entire Employment Center will be developed in phases, with this first phase addressing the part of the district with the most visibility: properties located along Kennedale Parkway and along High Ridge Road.

The 2012 Comprehensive Land Use Plan envisioned a conceptual master plan as an Employment Center with a vibrant mix of retail, office (corporate and small), lodging, and residential uses for this important gateway into the City. Ideally, a mix of land uses—including office and retail—will eventually occupy this district, with an emphasis on employment and possible transit park & ride supportive uses. Development on the interior of the Employment Center should be designed to encourage and accommodate pedestrians. While it is understood that development on the exterior of the district will need to contend with a more auto-oriented reality, pedestrian safety, access, and comfort should not be ignored.

The development standards in this District have four main goals.

- Move toward development patterns that are closer to the vision of the comprehensive plan while taking advantage of frontages along major regional corridors such as Kennedale Parkway and Interstate-20;
- Serve as a transition between development along the Parkway and development in the interior of the Employment Center district, which will be more accommodating to pedestrians and a mix of uses, along with the potential for higher intensity development;
- Ensure new development and improvements to existing development support the City's vision of the Employment Center as a gateway to Kennedale; and
- Provide a high level of predictability, both for the development community and the public.

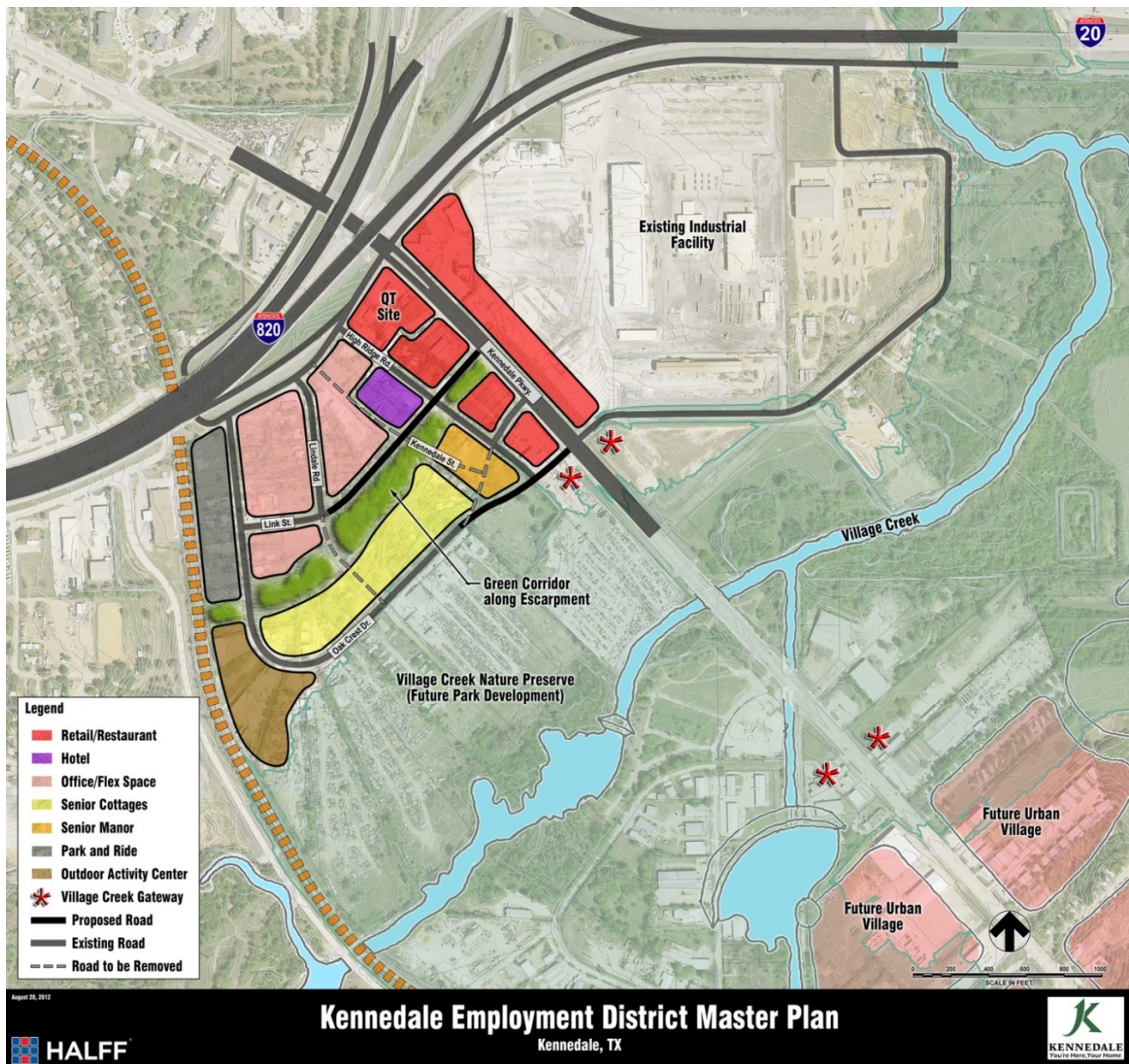


FIGURE 1. EMPLOYMENT CENTER MASTER PLAN

SECTION 2. REGULATING PLAN

The Employment Center character district consists of five districts: Corridor Commercial; Transition Zone; Flex Zone; Neighborhood Zone; and Green Corridor. Where not controlled by the Employment Center Code, the Employment Center shall be governed by the Kennedale Code of Ordinances to the extent the Code of Ordinances is not in conflict with the intent or text of the Employment Center Code.

Employment Center Districts

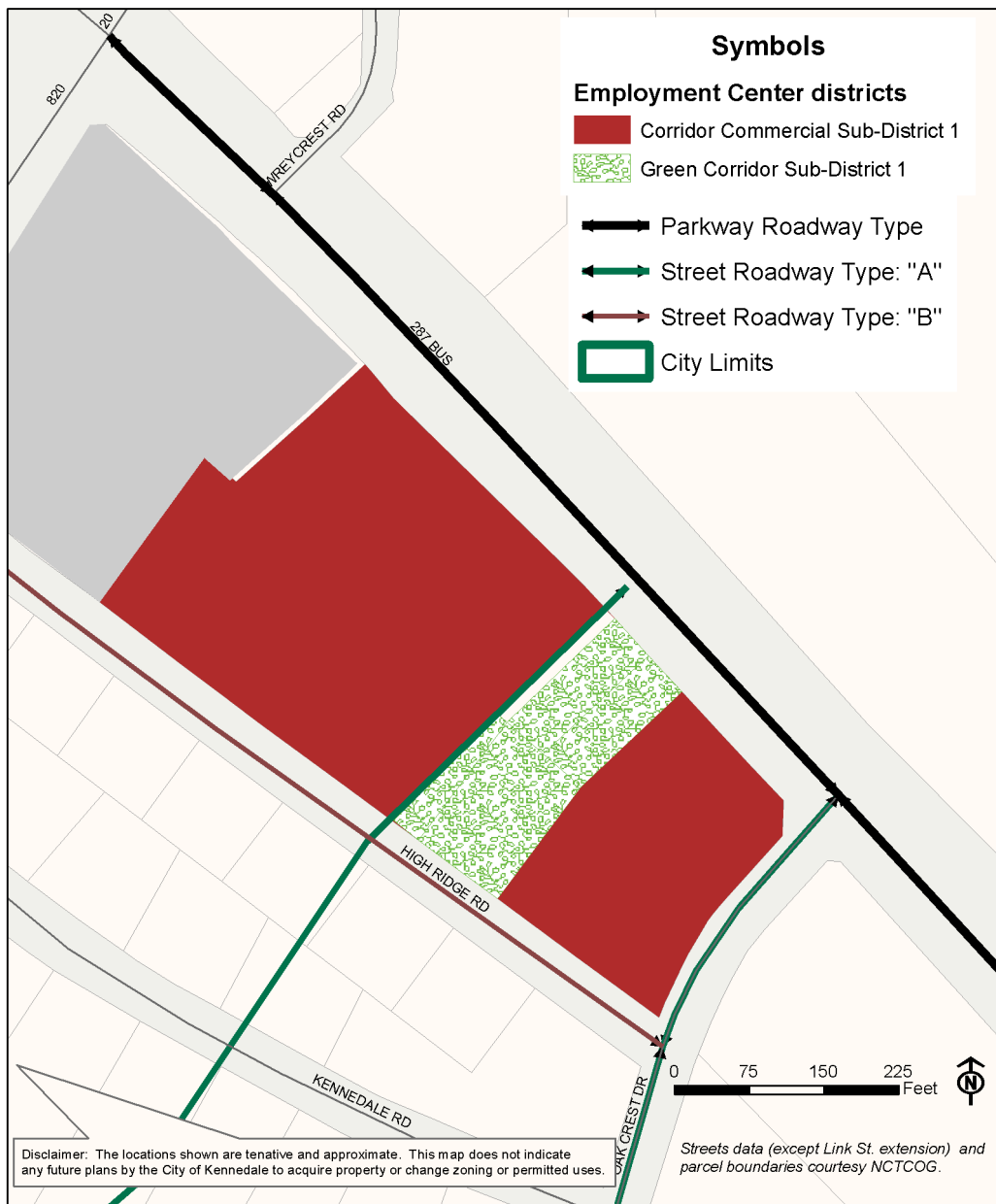


FIGURE 2. REGULATING PLAN BOUNDARIES

2.1 CORRIDOR COMMERCIAL

The purpose of the Corridor Commercial district is to encourage commercial development consistent with the vision for this important gateway into Kennedale, using a hybrid code context that merges the predictability provided through a form-based code with the land use control provided through more traditional zoning tools. This zone creates a unified streetscape and landscape context for an area that is both a major gateway to the city and a major suburban thoroughfare. The district consists of two sub-districts: Corridor Commercial Sub-District 1, located on the south/west side of Kennedale Parkway (shown in the illustration above), and a second sub-district located on the north/east side of Kennedale Parkway. **This Code is intended to set forth regulations for Corridor Commercial Sub-District 1 and Green Corridor Sub-District 1 (described below) only.**

2.2 GREEN CORRIDOR

The Green Corridor district provides a green belt to buffer land located on either side of an escarpment running through the Employment Center and provides a transition between the residential uses of the Neighborhood district and the more commercial uses to be located north of the Green Corridor. The Green Corridor has two sub-districts: Green Corridor Sub-District 1 bisects the Commercial Corridor Sub-District 1; Green Corridor Sub-district 2 runs between the Transition and Flex districts and the Neighborhood district. **This Code is intended to set forth regulations for Corridor Commercial Sub-District 1 (described above) and Green Corridor Sub-District 1 only.**

2.3 OTHER SUB-DISTRICTS

Additional sub-districts will be established as this Code is updated in the future. The sub-districts will be drawn from the Employment Center Master Plan and will create a flex zone, a transition zone, and a neighborhood zone, as well as an additional corridor commercial district. The Flex Zone will provide for office uses, light manufacturing or small-scale distribution, live/work units, and light commercial. The Transition Zone will provide a buffer between the more auto-centric development patterns of the Corridor Commercial zone and the adjacent parts of Oak Crest that will likely redevelop over time into a more urban character. The Neighborhood Zone is intended for residential development for seniors; residences may take the form of single-family residential or small, context-sensitive multi-family residential. It is intended that all of the properties within the Employment Center will eventually be regulated by this Code, after the Code has been updated to include additional standards fitting the other sub-districts and maintaining the desired character of the district.

2.4 ROADWAY CONTEXT

The Employment Center is bounded by Kennedale Pkwy to the east, the I-20 frontage road to the north, a rail line to the west, and Village Creek to the south. The area is therefore not only the major gateway to Kennedale, but it is also disconnected from the rest of the city. New land development tools adopted for the Employment Center must be realistic about what kind of development can be expected but should also encourage or, at times, require building, site, and infrastructure design standards that help connect the neighborhood to other areas. And given that this area is physically separated from the rest of the city, and this separation can make residents and businesses more reliant on each other for success, intra-neighborhood connections are also important.

Connections can be enhanced through a well-designed transportation system. The comprehensive plan's Future Transportation Plan describes the kind of transportation options (automobile-based and pedestrian) that should be established for the Employment Center and notes that roadways should be designed using a Complete Streets approach. Complete streets are designed with a goal of balancing the safety and convenience of everyone using the road. Roadway design varies by location, topography, types of users, and a variety of other factors that may change from site to site. For example, areas intended to have heavy foot traffic should have a different roadway design than an interstate highway would have.

The Future Transportation Plan indicates that Kennedale Pkwy should be designed as a Parkway or Multiway Parkway roadway type. The Parkway type has two lanes of traffic in each direction separated by a 16-18-foot wide median and with sidewalks a minimum of five (5) feet in width. The Multiway Parkway type also has two travel lanes in each direction and has a 12-18-foot wide median, with sidewalks a minimum of 5 feet in width. The Multiway Parkway can also be designed with an access/slip lane. This Code includes a 6 foot minimum sidewalk width and sets a minimum front setback of twenty (20) feet, which falls within the 18-25 foot range for the Parkway roadway type; it also sets forth streetscape standards that will establish a quasi-slip lane along Kennedale Pkwy.

The interior roadways in the Employment Center are classified as Streets. Streets typically have two travel lanes and no median. The Employment Center has two Street roadway types: "A" Streets and "B" Streets. Sidewalks for Streets should be 5-8 feet in width, and travel lanes should accommodate bicycle traffic safely and comfortably. "A" Streets are considered primary thoroughfares on the interior of the district. These streets shall have higher standards for pedestrian-oriented design and access, ensuring that the relationship between buildings and the street and between the pedestrian and auto-oriented realms enforce the desired character for the district. "B" Streets are minor streets within the district. While design is less important for these streets, it still plays an important role in establishing community character and ease of access and connectivity.

SECTION 3. ADMINISTRATION

3.1 Authority

The code shall be administered by: the Kennedale City Council (“Council”); the Planning & Zoning Commission (“Commission”); the Zoning Administrator (“Administrator”); the Director of Planning (“Planning Director”); Director of Development Services (“Development Director”); the Director of Public Works (“Public Works Director”); the Permits & Planning Department (“Department”); and other City bodies and officials as identified in this Development Code.

3.2 Responsibility for Administration

This Employment Center District Code shall be administered by the Zoning Administrator (“Administrator”) and the other decision-making authorities as identified in this Code and the zoning ordinance. Administration of this Code shall follow the process established in Section 3.11 of this Code and Section 17-403 of the Kennedale City Code.

3.3 Interpretation and appeals

Interpretation and appeals of this Code shall follow the process established in Section 17-405 of the Kennedale City Code.

3.4 City Council duties.

The City Council shall consider and adopt, modify, or reject proposed amendments to this article or of its repeal after recommendation from the Planning & Zoning Commission.

3.5 Applicability.

This Code applies to all development, subdivisions, and land uses within the Regulating Plan boundaries, as shown in Figure 2 and more particularly described in Exhibit A. Where not controlled by the Employment Center code, the Employment Center shall be governed by the Kennedale Code of Ordinances to the extent the provisions in the Code of Ordinances are not in conflict with the intent or text of the Employment Center code. Signs specifically prohibited in the zoning ordinance or by City Code are prohibited in the Employment Center District unless specifically stated otherwise herein.

All private and public development and redevelopment projects are subject to review by the Permits & Planning Department for compliance with this Code, as defined below.

Table 3.1. Review Authority			
Type of Project	Zoning Administrator or City Staff Review Required	Planning & Zoning Commission / City Council Review Required	Board of Adjustment Review Required
New construction meeting the standards set forth in this Code	√		
Minor Modifications (see Section 3.11.B)	√		
Major Modifications (see Section 3.11.C)		√	
Variance Request (other than Minor Modifications)			√
Expand, renovate, or repair an existing building meeting the standards of this Code	√		
Expand an existing, non-conforming building, not to exceed 25% of the existing area of the land being occupied by the non-conforming use			√
Renovate an existing, non-conforming building without making structural alterations	√		
Renovate or repair an existing, non-conforming building, with renovations or repairs to include structural alterations			√
Repair an existing, non-conforming building without making structural alterations	√		
Appeal a decision made by the Zoning Administrator			√
Request an amendment to this Code		√	

3.6 Building permits.

No building permit shall be issued by the City of Kennedale for any new structure or addition unless the structure conforms to the provisions of this Code. No certificate of occupancy shall be issued for new development unless the structure conforms to the provisions of this Code.

3.7 Shall, should, may.

Provisions of this Code preceded by “shall” note regulations or standards that are required, “should” when recommended and encouraged, and “may” when optional.

3.8 Conflict with other city codes.

Where provisions of this Code conflict with other City of Kennedale codes, ordinances, or regulations, the provisions of this Code shall prevail.

3.9 Conflict with illustrations and text.

Where provisions of this Code provided through illustration conflict with provisions provided in text, the provisions provided in text shall prevail. Photographs used to illustrate text are for illustration purposes only unless otherwise noted.

3.10 Rules for interpretations of boundaries.

Where uncertainty exists as to the boundaries of zoning districts as shown on the official zoning map, boundaries shall be determined in accordance with Section 17-404(c) of the Kennedale City Code.

3.11 Development review process.

A. Administrative Review. Projects that comply with all standards of this Code shall be processed administratively by the Department. Projects that require interpretation shall be forwarded to the Administrator for review, and the Administrator may direct the Planning Director to forward such projects to the Planning & Zoning Commission and City Council for interpretation. See Figure 3 (flow chart) for more information on the process for development review under this Code.

The Zoning Administrator shall be responsible for the following:

- i) Approving minor modifications to the Regulating Plan or minor modifications from the standards set by this Code.
- ii) Forwarding to the Planning and Zoning Commission projects requiring or requesting major modifications.

The Planning Director shall be responsible for the following:

- i) Reviewing site plan applications for compliance with this Code.

- ii) Approving site plan applications that are in compliance with this Code and all applicable City regulations and ordinances.
- iii) Approving modifications or revisions to previously approved site plans that are in compliance with this Code and all applicable City regulations and ordinances.
- iv) Coordinating any necessary review of projects with other departments within the City of Kennedale.
- v) Forwarding to the zoning administrator projects requiring interpretation.
- vi) Forwarding to the Board of Adjustment requests for variances.

The Development Services Director shall be responsible for the following:

- i) Approving building permits for projects that are in compliance with this Code.

B. Minor Modifications. The Zoning Administrator is authorized to approve minor modifications to this Code. Permitted minor modifications are as follows:

- alternative masonry materials when new materials have been developed and are not yet listed in the Code but clearly meet the intent of the Code;
- change in landscaping plants to similar plants that meet the intent of the Code and achieve the same effect;
- minor changes in the site plan that do not significantly alter building orientation, vehicle or pedestrian traffic flow, location of parking areas, or building placement, or does not allow increase in building height.
- Changes to a site plan (including landscaping and lighting plans) or building plan that require a modification of any numerical standard in this Code by no more than ten percent (10%) (increase or decrease) with the exception of additional building stories.

C. Major Modifications. The City Council is authorized to approve major modifications to this Code. Major modifications are changes that are beyond minor modifications. Major modifications are considered an amendment to this Code and as such are subject to the procedures, notifications, public hearings, and other standards for zoning amendments as set forth in the Kennedale City Code Section 17-429.

D. Variances. The Board of Adjustment is authorized to approve variances beyond Minor Modifications as permitted by City Code section 17-430.

E. Required Documents. In general, the following information is required, as applicable:

- i) Site Plans (which may include, but are not limited to, landscaping plans, lighting plans, grading and drainage plans, and utility plans)

- ii) Landscape Plan
- iii) Material Specifications
- iv) Plans and Specifications for Proposed Signs
- v) Description of Proposed Scope of Work
- vi) Photographs of Site and Existing Conditions

City staff may ask for additional documentation to confirm compliance with this Code.

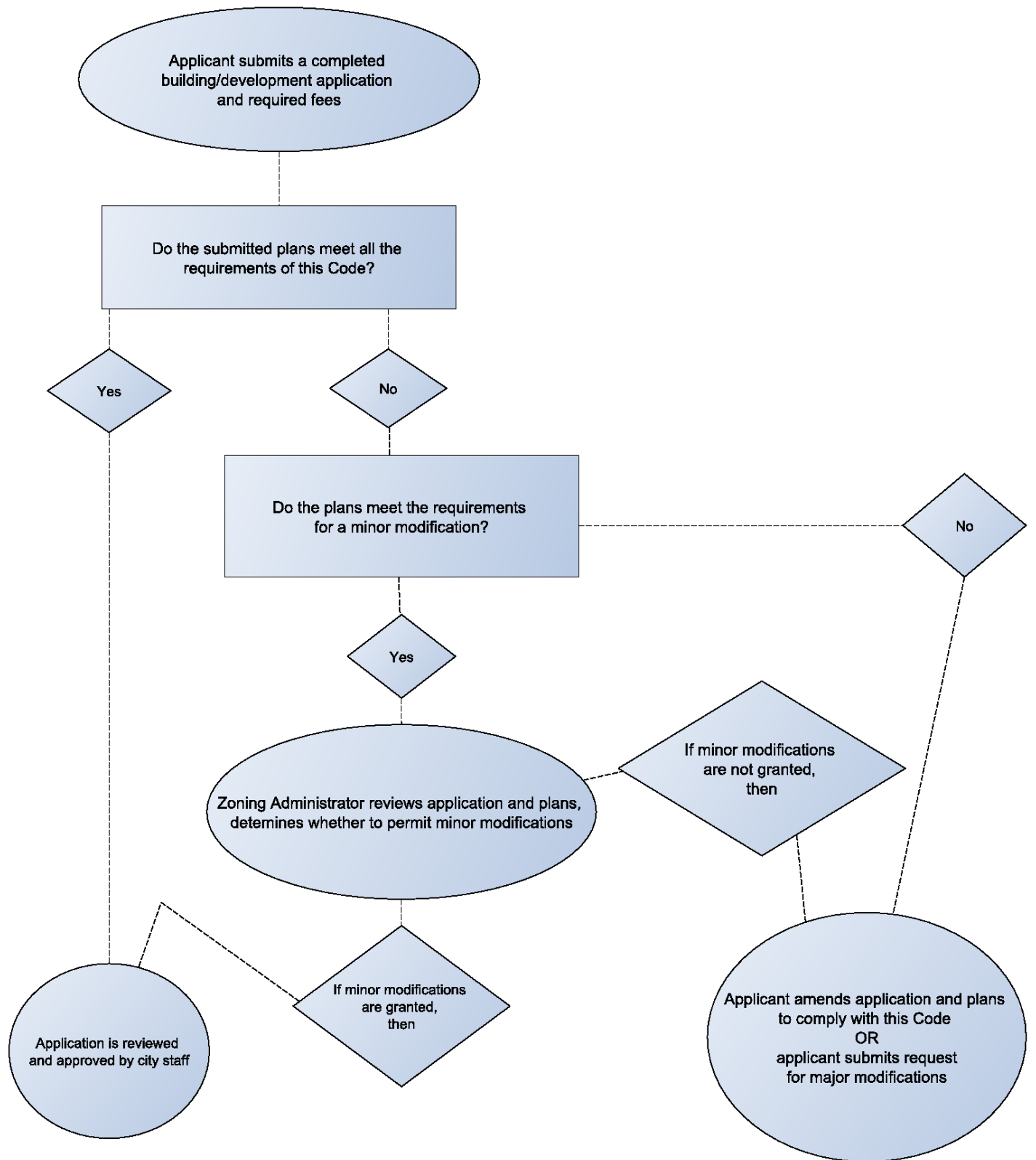


Figure 3. Approval process.

SECTION 4. BUILDING PLACEMENT & FRONTAGE

4.1 REQUIRED SETBACKS FOR CORRIDOR COMMERCIAL SUB-DISTRICT 1

Properties regulated by this Code shall adhere to the setback requirements set forth below.

Table 4..1 *Properties oriented toward or having primary access from Parkway roadway types*

Primary structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (from Kennedale Pkwy) ¹	20 (see Figure 10)	60 (see Figure 10)
Side (from side property line)	0 ²	--
Rear (from rear property line)	8	--
Accessory structures	Minimum setback (in feet) from primary structure	Maximum setback (in feet)
Front (setback from primary structure)	8	--
Side (from side property line)	0 ²	--
Rear (from rear property line)	8	--
1 Front setback for a primary structure is the distance between the front façade of a structure and the street right-of-way.		
2 Side setback is 0', subject to fire code.		

Table 4.2. *Properties oriented toward or having primary access from "A" type streets*

Primary structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (from Link St.)	20	25
Side (from side property line)	0	--
Rear (from rear property line)	8	--
Accessory structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (setback from primary structure)	8	--
Side (from side property line)	0	--
Rear (from rear property line)	8	--
1 Front setback for a primary structure is the distance between the front façade of a structure and the street right-of-way.		
2 Side setback is 0', subject to fire code.		

Table 4.3. Properties oriented toward or having primary access from “B” Street roadway types

Primary structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (from High Ridge Rd)	20	25
Side (from side property line)	0	--
Rear (from rear property line)	8	--
Accessory structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (setback from primary structure)	8	--
Side (from side property line)	0	--
Rear (from rear property line)	8	--

1 Front setback for a primary structure is the distance between a structure and the street right-of-way.
 2 Side setback is 0', subject to fire code.

Table 4.4. Properties oriented toward or having primary access from the I-20 frontage road

Primary structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (from I-20 frontage road)	20	75
Side	0	--
Rear	8	--
Accessory structures	Minimum setback (in feet)	Maximum setback (in feet)
Front (setback from primary structure)	8	--
Side (from side property line)	0	--
Rear (from rear property line)	8	--

1 Front setback for a primary structure is the distance between a structure and the street right-of-way.
 2 Side setback is 0', subject to fire code.-

The terms “front setback,” “side setback,” and “rear setback” have the same meaning as “setback,” “front yard,” “side yard,” and “rear yard” as defined in Kennedale City Code Section 17-431.

4.2 GREEN CORRIDOR SUB-DISTRICT 1

Structures are prohibited within the Green Corridor. Retaining walls are permitted when required for safety or stabilization purposes.

4.3 FRONTAGE REQUIREMENTS

4.3.1 Minimum frontage requirement for “A” Type streets

Building frontage covering at least fifty percent (50%) of the lot shall be required at the front build-to zone (see Figure 5). The “Build-to zone” is the area between the minimum and maximum setbacks from the property line. The principal building façade line shall be located within this area (see Figures 4). ~~The Build-to Zone for properties along Kennedale Parkway in the Corridor Commercial Sub-District 1, for example, is 20-55 feet from the street right-of-way.~~

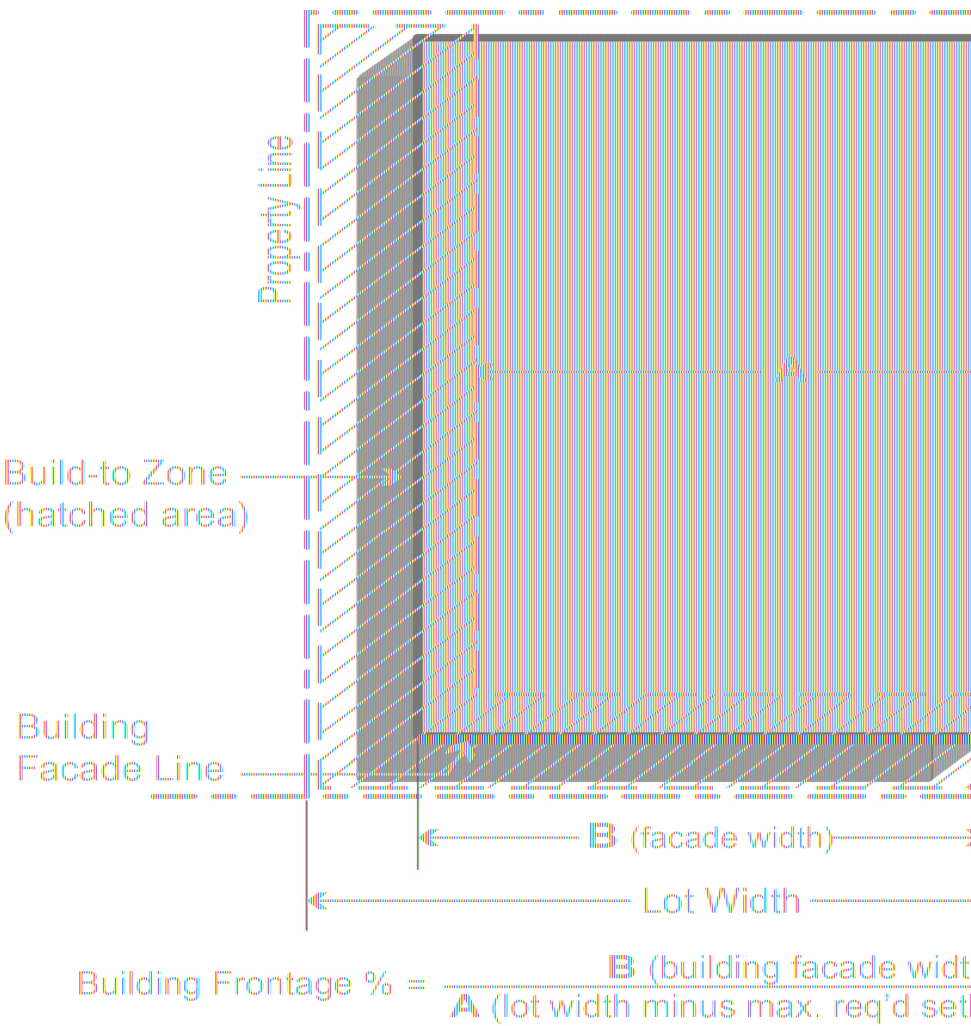


Figure 4. Percent of building façade required to be constructed within the build-to zone.

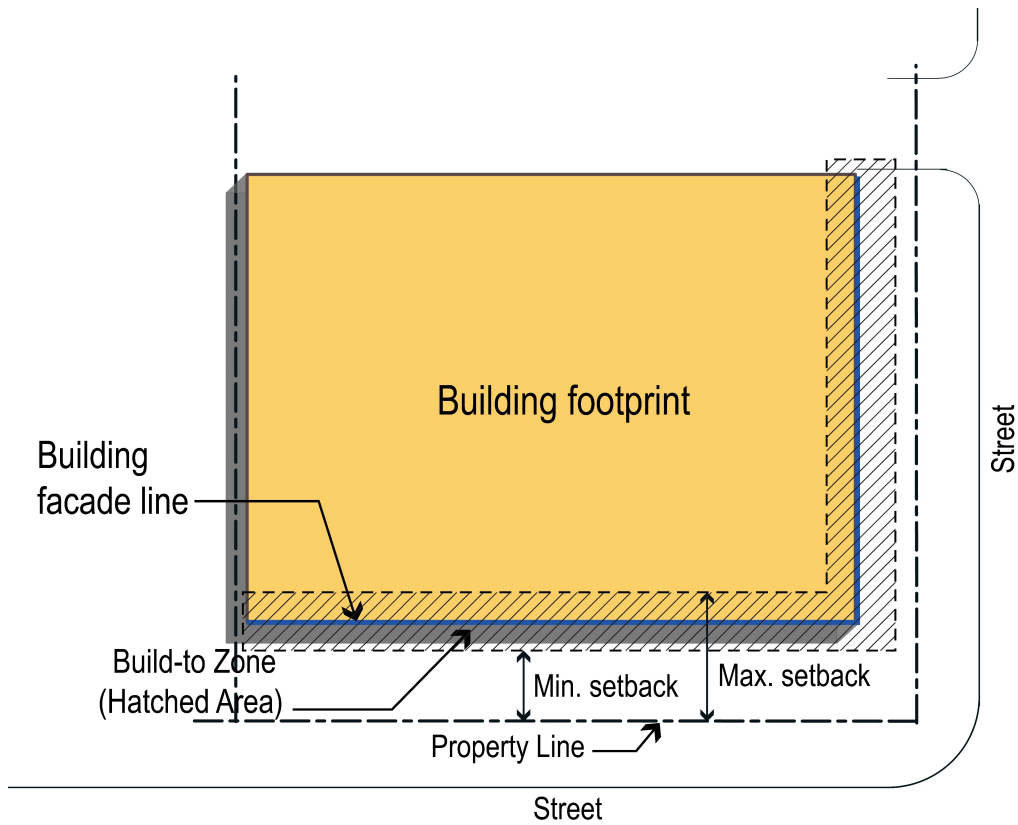


Figure 5. Illustration of build-to zone.

4.3.2 Corridor Commercial Sub-District 1

A. *Properties with primary access from or primary orientation toward Link St*

For rectangular buildings, the longer length of the building shall be oriented toward Link St. Additional orientation standards are controlled by Section 5.1 “Building Orientation” in this document.

B. *All other properties*

Building orientation is controlled by Section 5.1 “Building Orientation” in this document.

4.4 BUILDING HEIGHT

4.4.1 Corridor Commercial Sub-District 1

A. *Maximum height.*

Primary structures shall not exceed five (5) stories in height.

B. *Finish floor height.*

Buildings shall have a minimum floor-to-floor height of twelve (12) feet on ground floors and nine (9)

feet on upper floors. The ground floor finish level shall be a maximum of twelve (12) inches above the sidewalk.

C. *Accessory structure size.*

Accessory structures shall clearly be secondary to the primary structure(s) in size and use.

4.4.2 Green Corridor Sub-District 1

Structures are prohibited with Green Corridor Sub-District 1.

SECTION 5. BUILDING DESIGN STANDARDS

5.1 BUILDING ORIENTATION

The orientation of buildings has a large impact on the character of a district. In the Employment Center, it is important to recognize the auto-oriented nature of this district while also accommodating visitors who come to the Employment Center by bike or on foot. The regulations in this sub-section are intended to ensure building orientation provides for a variety of access options and supports the district character.

A. Corridor Commercial Sub-District 1

1. *Pedestrian-oriented entrance required.* For each primary building whose primary entrance is oriented toward an off-street parking area, a pedestrian-oriented entrance shall be provided on at least one street-facing side of the building (at least one side of the building not oriented toward the off-street parking area). The entrance shall provide a connection to the closest street or sidewalk (or a farther street/sidewalk if another street or sidewalk is more pedestrian-oriented).
2. *Additional regulations for properties on Link Street.* For properties with primary access from Link St or where the primary building is oriented toward Link St, the primary building shall be oriented so that the primary entrance is along Link St. The entrance shall provide a connection to the closest street or sidewalk. A second entrance shall be provided to the building from the side facing the off-street parking area.
3. *Location of uses within buildings.* Buildings shall foster a strong connection to the street by placing internal uses that require window openings and pedestrian entrances (such as offices) in the front of the building. Other internal uses (such as warehousing and storage) shall be placed in the back of the building.

5.2 FENESTRATION/GLAZING

The use and design of windows on a structure can have a significant impact on the character of a district, including appeal to pedestrians and to potential visitors driving by in cars, feeling of safety, and approachability of a particular building. This section regulates fenestration in order to provide the desired character for the Employment Center.

5.2.1 Corridor Commercial Sub-District 1

A. *Required glazing for primary structures with primary entrance on or oriented toward Parkways or “A” Street roadways*

(a) Structures accessible/visible to the public on four (4) or more sides. Primary structures shall have a minimum twenty percent (20%) glazing and a maximum of sixty percent (60%) glazing on at least two (2) sides and a minimum ten percent (10%) glazing (60% maximum) on at least one (1) other side.

(b) Structures accessible/visible to the public on three (3) or fewer sides. Primary structures shall have a minimum twenty percent (20%) glazing and a maximum of 60% glazing on at least one (1) side and a minimum ten percent (10%) glazing (60% maximum) on at least one (1) other side.

B. *Required Glazing for primary structures with primary entrance on or oriented toward “B” Street roadways*

Primary structures must have a minimum of twenty percent (20%) and a maximum of sixty percent (60%) glazing on the front (street-facing) façade and a minimum of ten percent (10%) and a maximum of sixty percent (60%) glazing on at least one other side.

C. *Blank walls not permitted.* Blank walls longer than sixty (60) feet are prohibited. For purposes of this section, “blank wall” means any building wall that is a portion of a building wall or façade without a window or door or similar architectural feature and is over four feet in height from ground level and longer than 60 feet, as measured horizontally, without having a window, door, building modulation (as defined in Appendix A Definitions, below), or other similar architectural feature meant to lessen the apparent bulk or massing of a structure.

D. *Visible Transmittance.* Glazing on ground-floor facades shall have a visible transmittance of 0.6 or higher. Glazing cannot be mirrored or darkly tinted glass that obscures visibility. For this section, “visible transmittance (‘vt’)” means the amount of light transmitted through a window. VT is expressed as a number between 0 and 1; the closer the number is to 1, the higher the potential for daylighting.

E. *Minimum height of glazing.*

Ground floor glazing shall have a maximum sill height of four (4) feet.

5.3 FAÇADE ARTICULATION

Articulation adds to the visual interest of a building and can make a building more appealing to pedestrians and other passers-by. This sub-section is intended to establish articulation standards reflecting the desired character of the Employment Center.

5.3.1 Corridor Commercial Sub-District 1

For all new structures (for which a building permit application is submitted to the City after the date the Employment Center code is adopted), primary building façades must be articulated every 40 feet, with a horizontal or vertical articulation of at least 24" (2 feet). New additions to existing buildings shall also be required to have articulation every 40 feet, with a horizontal or vertical articulation of at least 24" (2 feet).

Examples of articulation. Examples of acceptable articulation are as follows.

- (1.) Construction of building entrances, display windows, storefronts, balconies, columns, and arcades (obstructing of sidewalks or frontage zones is prohibited);
- (2.) Inclusion of awnings meeting the requirements of Section 7-Signs of this Code;
- (3.) Inclusion of a roof element projecting a minimum of five (5) feet from the building;
- (4.) Additional architectural elements may be used to meet this requirement. Elements not listed above require written approval from the Administrator.



Figure 6. Not permitted: No articulation along the façade

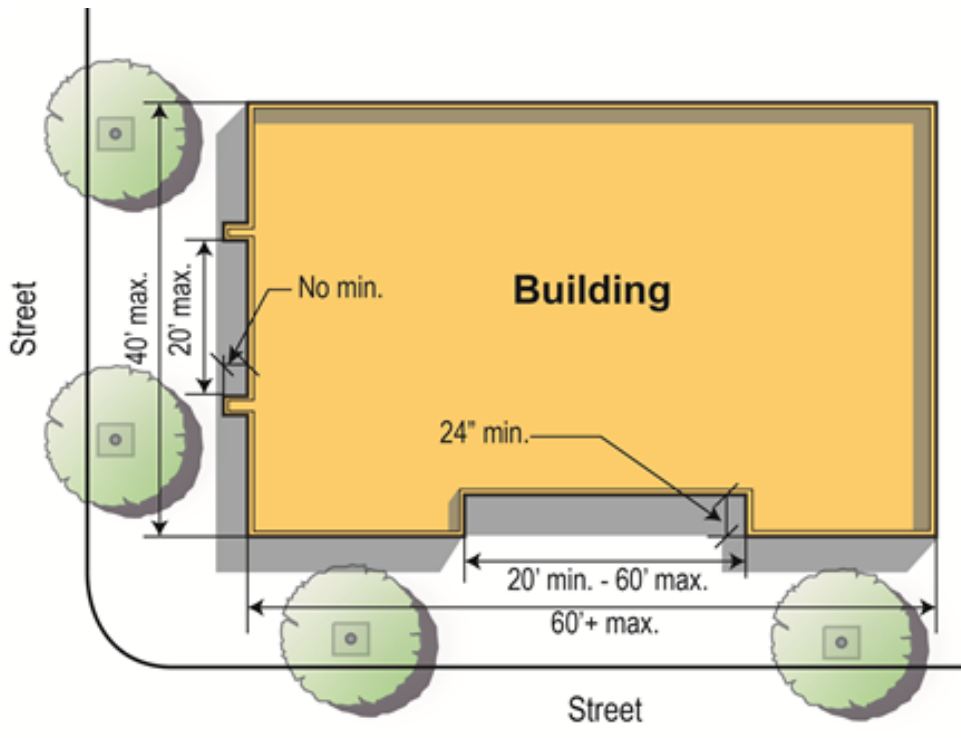


Figure 7. Illustration showing articulation along the building façade

5.4 BUILDING MATERIALS

5.4.1 Primary Structures

A Corridor Commercial Sub-District 1.

(1) Kennedale Parkway and “A” Streets

All new primary structures must be constructed of a minimum of 80% masonry, with a minimum 40% brick and the remaining 40% permitted to be other masonry materials. The primary color shall be similar in color and style to Acme brand Burgundy brick (see illustration), with contrasting color permitted for trim and/or cornice and other architectural details. Façades facing Kennedale Pkwy or “A” Streets shall be constructed of 100% masonry, with a minimum 50% Acme Burgundy type brick.

- a. The remaining twenty percent (20%) accent materials used may be determined by the builder/developer subject to the following:
 - i. Board and batten, vinyl siding, and corrugated metal shall not be used for the remaining 20%.
 - ii. Hardie-Plank™ (or equivalent) shall be permitted on upper floors of residential buildings or lodging uses only

EIFS shall only be permitted on facades seven (7) feet or more above the finished grade of the sidewalk along that façade.

(2) “B” Streets

All new primary structures must be constructed of a minimum of 80% masonry, with a minimum 40% brick and the remaining 40% permitted to be other masonry materials. The primary color shall be similar in color and style to Acme brand Burgundy brick (see illustration), with contrasting color permitted for trim and/or cornice and other architectural details.

- a. The remaining twenty percent (20%) accent materials used may be determined by the builder/developer subject to the following:
 - i. Board and batten, vinyl siding, and corrugated metal shall not be used for the remaining 20%.
 - ii. Hardie-Plank™ (or equivalent) shall be permitted on upper floors of residential buildings or lodging uses only.
 - iii. EIFS shall only be permitted on facades seven (7) feet or more above the finished grade of the sidewalk along that façade.

Figure 8. Acme Burgundy brick, as seen in
TownCenter

5.4.2 Secondary Structures

A. *Corridor Commercial Sub-District 1.*

Secondary or accessory structures must complement the primary structure. Secondary/accessory buildings must be 80% masonry as defined in Section 17-405 of the Kennedale City Code.

SECTION 6. SITE DESIGN STANDARDS

6.1 Parking

6.1.1 Off-Street Parking Placement

A. *Corridor Commercial Sub-District 1*

(1.) *Properties oriented toward or with primary access from “A” Street roadways*

No off-street parking is permitted between the primary structure and the street (all parking must be behind or to the side of the primary structure). Off-street parking areas must be screened (see Parking Screens, below).

(2.) *Properties oriented toward or with primary access from Parkways or “B” Street roadways*

Off-street parking is permitted along the public street. Off-street parking must be setback from the right-of-way a minimum of six (6) feet and must be screened by masonry or vegetation (see Sub-Section 6.1.2).



Figure 9. Off-street parking area provided behind the primary structure (secondary building entrances shown)

6.1.2 Screening of Off-Street Parking

A. *Corridor Commercial Sub-District 1.*

Off-street parking visible from a public street must be screened in accordance with the table below.

Table 6.2			
Location of Off-Street Parking	Minimum Height of Screening (in feet) ¹	Maximum Height of Screening (in feet)	Permitted Screening Materials
Link Street	3	4	A combination of masonry and vegetation ^{2, 3} (maximum 50% of screening materials may be masonry)
All other streets	3	4	Vegetation (evergreen) ⁴ or a combination of vegetation and masonry (maximum 50% of screening materials may be masonry) ³
¹ If requirements for maintaining a sight triangle do not permit a minimum of three (3) feet, screening must be the maximum height allowed by the sight triangle. ² For this sub-section, “masonry” is defined per Section 17-405 of the Kennedale City Code. ³ If masonry is used for screening, it must be of the same material as the primary building. ⁴ Vegetated screening must be in compliance with Section 6.5.4 of this Code and, where applicable, Section 17-425 and Chapter 17, Article VIII of the Kennedale City Code (where not in conflict with this Code).			

6.1.3 Off-Street Parking Amount

A. Corridor Commercial Sub-District 1.

(1) For each of the use types listed below, the parking requirement listed is the minimum amount required.

Table 6.3	
Use Type	Minimum Number of Spaces Required
All non-residential <i>except</i> lodging	1 per 250 square feet of building area
Residential	1 per unit
Lodging	1 per guest room

(2) *Shared Parking.* Shared parking is permitted if a shared parking agreement has been signed and notarized by all users/parties who intend to share parking. The shared parking plan will be subject to review and approval of the Administrator, and the parking agreement must be filed with the Tarrant County Clerk. A reduction of up to 20% of the required parking may be permitted. Parking may be shared by different uses on a shared or adjacent site, but the parking facility must be located within six hundred (600) feet of the primary structure for each use. The Administrator is not required to approve a reduction in the required number of parking spaces.

(3) *Compact Car Parking.* Up to fifteen percent (15%) of the required parking may be designed and sized for compact vehicles.

6.1.4 Bicycle Parking

Parking for bicycles must be provided for every non-residential use.

- A. *Parking amount.* Bicycle parking shall be provided at a minimum amount of 5% of the number of spaces provided for car parking.
- B. *Design of bicycle parking spaces.* For each required bicycle parking space, a stationary object shall be provided to which a user can secure a bicycle with at least two points of contact with a 6-foot cable and lock. The stationary object shall be either a freestanding bicycle rack or a wall-mounted bracket. Freestanding bicycle racks shall be inverted “U,” post and ring, or some other form of bicycle rack providing at least two points of contact. Grid/fence-type racks and wave/ribbon-type bicycle racks are prohibited. Objects for securing bicycles must be dedicated for that purpose and may not be primarily for any other purpose (e.g., signage, traffic safety).
- C. *Location of bicycle parking.* The bicycle rack shall be located within 60 feet of the main entrance of the building it serves, and may be located between the street curb and the building, subject to the approval of the Development Services Director. Each bicycle parking area shall be separated from motor vehicle parking and maneuvering areas by a barrier, post, or bollard or by at least five (5) feet of open space.

6.1.5 Landscaping for Off-Street Parking

- A. *Corridor Commercial Sub-District 1.*

All parking lots and drive areas shall be designed and landscaped in accordance with the following provisions:

- (1.) Where off-street parking is permitted between the primary structure and a public road, all parking or drive areas shall be located a minimum of six (6) feet from right of way lines along public streets.
 - (2.) Off-street parking located between the primary structure and the property line or street pavement edge shall be screened.
 - (3.) Landscaped areas in a parking lot shall be in addition to all other landscape requirements of this Code and shall be provided in any parking lot of five (5) spaces or more in accordance with the following requirements.
 - (4.) One (1) tree shall be provided for each ten (10) parking spaces in all developments, however, no car parking space shall be located greater than seventy-five (75) feet from the center of a tree. Trees shall be a minimum of three (3) inch caliper measured one (1) foot from the ground and planted within a planting island with a minimum dimension of five feet in width. The tree-planting island shall be further planted with a ground cover, grass, or shrubs.
- B. Vehicle protection.* All required landscape areas, planters, walls, and/or fences adjacent to vehicle use areas shall be protected by wheel stops, curbs, or other physical barriers. In no instance shall a parking area be designed so as to permit the encroachment or overhang of a vehicle beyond the required setback line(s) set out above in this sub-section.

6.2 SCREENING

6.2.1 Screening required between incompatible uses

A. Screening must be erected, placed, grown and maintained along the common boundary line of any commercial or industrial uses sharing a common boundary with an existing residential use before any commercial or industrial use is made of the property. This screening requirement shall be the responsibility of the owner of the commercial or industrial use. For the purposes of this section, “commercial or industrial use” means any use that is not primarily used for residential use. For example, a business with a caretaker living on site would not be considered a primarily residential use, nor would a hotel. However, a residence with an approved home occupation would be considered a primarily residential use for purposes of this Code, even though some business may be transacted at the home.

B. No screening wall or fence shall be constructed of materials not manufactured or designed for the primary purpose of wall or fence construction. Gates shall be steel and painted in color corresponding to the primary structure.

6.2.2 Screening for garbage, refuse and trash collection/storage areas

- A. Garbage, refuse and trash collection/storage areas shall be screened by a masonry enclosure on three (3) sides. Screening walls shall be a minimum of one (1) foot in height above the materials being stored, and screening walls and fences shall not be greater than eight (8) feet in height. Materials being stored shall not be stored higher than one (1) foot below the screening provided.
- B. The fourth side shall be screened by a gate. The gate shall be made of wrought iron or of a combination of decorative wooden panels and wrought iron.
- C. The masonry used must be of the same material as the primary building.

6.2.3 Screening for loading docks

Loading docks shall be screened according to Section 17-424 of the Kennedale City Code.

6.2.4 Screening for parking areas

Screening of parking areas is controlled by Sub-section 6.2.2, "Screening of Off-Street Parking," above.

6.3 STREETSCAPE STANDARDS

The sidewalk widths as specified in Kennedale's Future Transportation Plan were established based on known best practices for pedestrian facilities, and they are the basis of sidewalk width requirements for this Code. The Future Transportation Plan states that Streets (the classification of roadways on the interior of the Employment Center) shall have a minimum sidewalk width of five (5) feet and a maximum sidewalk width of eight (8) feet. Sidewalks along Parkways or Multiway Parkways (the classifications applicable to Kennedale Pkwy) shall have a minimum sidewalk width of five (5) feet.

6.3.1 Kennedale Parkway frontage requirements

The following standards shall apply to all development with frontage along Kennedale Parkway (see Figure 10).

- A. If surface parking is located between the building and the street right of way, a pedestrian walkway of at least six (6) feet clear width shall be located immediately adjacent to the building. In addition, canopy

trees shall be located within this walkway in tree planting strips (minimum 5'x5') at a rate of one (1) tree per thirty (30) linear feet of building frontage. Pedestrian scale lighting shall be added at a rate of one (1) per fifty (50) linear feet of building frontage.

- B. This walkway shall be clearly linked (through pavers or pavement markings and h/c ramps) to the public sidewalk within the right-of-way of Kennedale Parkway and to the walkway in front of any adjoining building.

6.3.2 Sidewalk requirements

A. Sidewalks are to be installed by the developer or builder. Notwithstanding any written agreement between the City and any other person or entity, in no case is the City obligated to install sidewalks. Where it is not feasible to install sidewalks at the time of development, the developer or builder shall pay a fee in lieu of installation.

B. Sidewalks shall be installed according to the standards in the Kennedale City Code and the Public Works Design Manual. Notwithstanding the above, sidewalks may be installed using Low-Impact Development Standards if approved, in writing, by the Director of Public Works. Requests to use Low-Impact Development standards must be made in writing. The Director of Public Works shall grant approval to use Low-Impact Development standards only when the Director is satisfied the proposed standards will meet the same durability and safety standards as expected from sidewalk construction materials and construction practices required by Kennedale City Code and the Public Works Design Manual. The Director is not required to approve the use of Low-Impact Development standards.

C. Sidewalks shall be installed at the minimum widths and additional requirements shown in the table below.

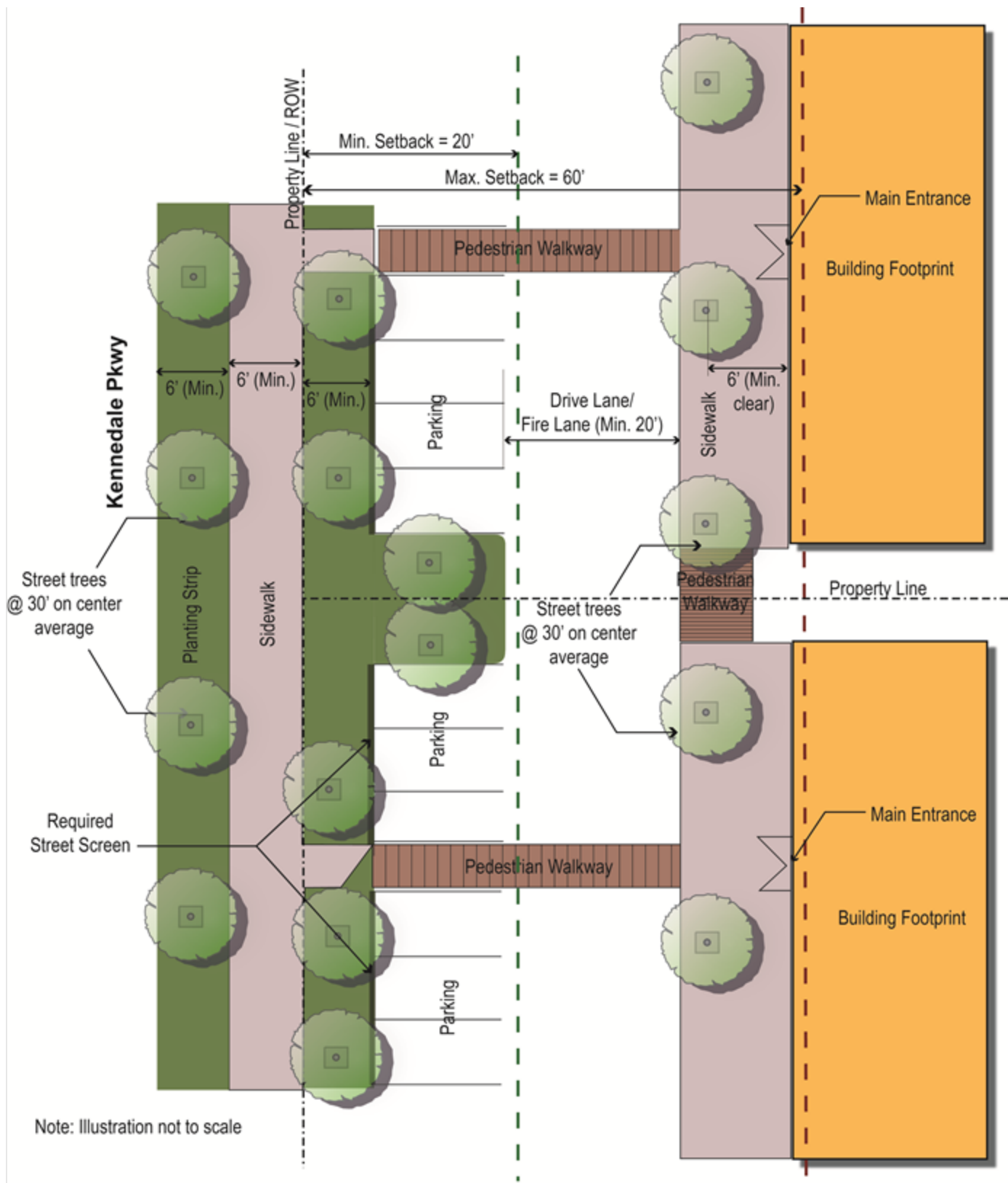


Figure 10. Example of parking area showing required streetscape and site design for properties along Kennedale Pkwy.

Table 6.5		
Sidewalk location	Minimum Width (in feet)	Additional Requirements
<u>Parkways</u>	6	Street trees shall be installed by the developer/builder when sidewalks are installed, if permitted by TxDOT.* If street trees are not permitted, then alternative landscaping plans shall be submitted to the City for review and approval.
<u>"A" streets</u>	<u>5-8</u>	Street trees shall be installed when a curb and gutter or approved alternative storm water conveyance system is installed. <u>Minimum sidewalk width varies from 5 to 8 feet, depending on available right-of-way.</u>
I-20 frontage road	6	Street trees shall be installed by the developer/builder when sidewalks are installed, if permitted by TxDOT.* If street trees are not permitted, then alternative landscaping plans shall be submitted to the City for review and approval.
<u>"B" streets</u>	5	Street trees shall be installed by the developer/builder when sidewalks are installed.*
* Street trees may be installed after sidewalk installation in order to prevent damage to tree roots during construction. However, sidewalk improvements will not be accepted by the City until street trees are also installed, inspected, and accepted.		



Figure 11. Example of sidewalk location along Parkways.



Figure 12. Example of acceptable sidewalk location along “A” street types



Figure 13. Example of acceptable sidewalk location along “B” street types

6.3.3 Connections

Pedestrian walkways must be connected across properties to ensure safe, comfortable, and easily-accessible pedestrian connections are present throughout the Employment Center District.

6.4 CURB CUTS

Poor design and placement of parking lots and driveways can impede traffic flow and can also inhibit connectivity among sites and may reduce pedestrian safety. To enhance connectivity and increase safety, therefore, parking lots and driveways shall be planned to reduce the number of curb cuts and shall be designed to support pedestrian safety, connections, and comfort.

The sub-sections below establish criteria for curb cuts within the property regulated by this Code. The following regulations apply to any new curb cuts within the Employment Center and any existing curb cuts within the Employment Center for which a change in location or size is proposed.

- A. Primary driveways should be designed as streets. This includes designing pedestrian sidewalks and appropriate traffic control measures, as well as providing streetscape improvements and lighting to improve wayfinding.
- B. Parking lots and driveways shall provide pedestrian connections to storefronts. Dedicated walkways through parking lots and sidewalks shall be included in the design of access roadways.
- C. Traffic calming techniques shall be employed in parking and driveway areas to support pedestrian circulation concepts.
- D. Drive approach size and construction standards shall be governed by the City of Kennedale Public Works Design Manual.

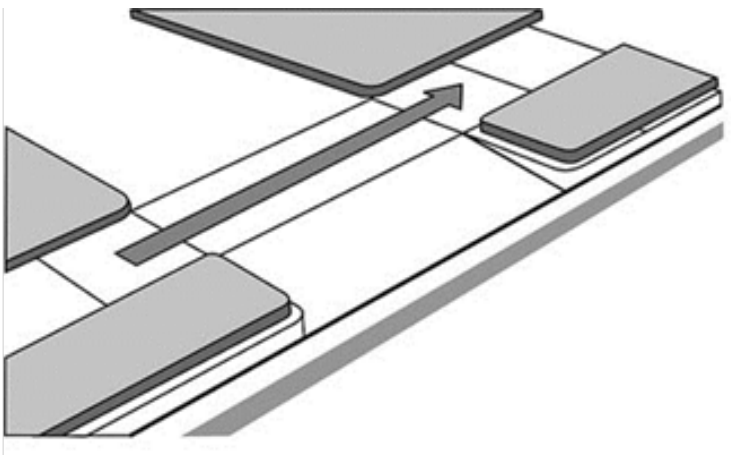


Figure 14. Primary driveway designed as a street, leading to off-street parking located behind the primary structure. Primary driveways in the Employment Center District should be designed as streets and should include pedestrian facilities such as raised sidewalks.

6.4.1 Kennedale Parkway

Placement and dimensions of curb cuts along Kennedale Pkwy shall be determined by the Texas Department of Transportation.

6.4.2 “A” Streets

- A. Curb cuts on “A” Streets shall be limited to 1 per 500 feet.
- B. Cross access easements shall be required.

6.4.3 “B” Streets

- A. Curb cuts on “B” Streets shall be limited to 1 per 250 feet.
- B. Cross access easements shall be required.

6.5 LANDSCAPING

Landscaping shall adhere to the requirements of Kennedale City Code except where modified by this Code.

6.5.1 Kennedale Parkway

Development along Kennedale Pkwy shall follow the landscaping plans approved for the City of Kennedale’s landscaping on the TxDOT green ribbon grant program.

6.5.2 “A” Streets

Street trees are required along roadways classified as “A” Streets. One (1) tree is required a minimum of every forty (40) feet and a maximum of fifty (50) feet, center to center, on average, but can vary to accommodate signage, topography, or other site conditions. For “A” Streets without curb and gutter storm water systems in place at the time of development, placement of street trees is deferred while existing storm water controls are in place. Until such time as curb and gutter or an approved alternative storm water conveyance system is installed, developers may pay a fee in lieu of planting trees.

6.5.3 “B” Streets

Street trees for roadways classified as “B” Streets shall follow the requirements of Kennedale City Code in terms of number of trees, size required, placement of trees, and care during construction, as well as any other requirement not in conflict with this Code.

6.5.4 Tree and Plant Selection

- A. *Street trees.* Street trees shall be selected from the list of approved street trees in Chapter 17, Article VIII, Section 17-605, Table A(b) of the Kennedale City Code, except that Chinese Pistache (*Pistachio Chinensis*) is prohibited.
- B. *Landscaping plants.* Landscaping plants shall be selected from the list of approved plants in Chapter 17, Article VIII, Section 17-605, Table A of the Kennedale City Code, except that the following plants are prohibited:
- Japanese Honeysuckle / Purple Leaf Honeysuckle (*Lonicera Japonica* / *Lonicera Japonica Halliana*)
 - Vinca / Bigleaf Periwinkle (*Vinca Major*)
- C. *Other permitted plants.* Notwithstanding the above, a landscaping plant not on the approved list may be used if it is demonstrated to be drought tolerant and is a native Texas plant suitable for growing in this area. A list of native plants suitable for North Central Texas is available online at the Lady Bird Johnson Wildflower Center website (www.wildflower.org), and a list of plants suitable for Tarrant County is available from the Texas Parks & Wildlife Department website (tpid.tpwd.state.tx.us). A list of plants recommended by these organizations is attached to this Code as an appendix. Non-invasive, native plants from these lists may be used for landscaping required by this Code.

6.5.5 Landscaping Used as Screening

For regulations governing use of landscaping to screen parking areas, see Sub-section 6.2.2 of this Code governing parking, above. For regulations governing use of landscaping for screening other uses, see Section 6.3.

6.5.6 Irrigation

Applicable regulations. Except where otherwise in Appendix C, irrigation shall be regulated as set forth in Kennedale City Code.

6.6 LIGHTING

Adequate lighting is important to ensure safety for employees who work in the Employment Center District, for customers, and for residents who live nearby. Proper lighting design can also add to the attractiveness and visibility of a property. Poor lighting design, however, can diminish the attractiveness of a site and can also impede safety. This section is intended to regulate lighting in the Employment Center to ensure public health, safety, and general welfare and to ensure lighting contributes to the desired character of the district.

6.6.1 Requirements for Exterior Lighting

- A. Lighting for each property shall be designed for the context of traffic (automobile, bicycle, or pedestrian) on the surface streets abutting the property, rather than for visibility from Interstate 20.
- B. All luminaries used primarily for illuminating off-street parking areas, lighted canopies for commercial uses, and similar lighting needs shall have a maximum height of twenty (20) feet.
- C. All luminaires used primarily for walkways, trails, security, decorative effects, lighting equipment or storage areas, fountains, art work, building walls, or similar lighting needs shall have a mounting height no higher than fourteen (14) feet.
- D. Light trespass shall be minimized; light levels at the property line should not exceed 2 footcandles (fc). *Footcandle* means the unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one foot square from a distance of one foot.
- E. Fixtures for decorative lighting must be selected, located, aimed, and shielded so that direct illumination is focused solely on the building façade, plantings, and other intended site feature, and away from adjoining properties and the public street right-of-way.
- F. The operation of searchlights for advertising purposes is prohibited between the hours of 9:00 P.M. and 7:00 A.M.

SECTION 7. SIGNS

7.1 Purpose of Sign Regulations

The purpose of this section is to create the legal framework for a comprehensive and balanced system of signage in the Employment Center District. These regulations are intended to provide an easy and pleasant communication between people and their environment and avoid visual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities, and community appearance. In addition to protecting the health, welfare, and safety of the community, these standards are adopted in order to:

- Maintain and enhance the aesthetics of our community;
- Enhance automobile and pedestrian safety;
- Encourage the integration of signage with landscaping and building design;
- Protect and enhance scenic views and natural landscapes;
- Protect and enhance economic viability of the city's commercial corridors by assuring aesthetic appeal to businesses and residents alike;
- Promote the use of aesthetically pleasing sign materials, colors, and types; and
- Require safe and effective signage.

7.2 Definitions

Terms in this section use the definitions provided in Section 17-502 of the Kennedale City Code unless otherwise specified in this section.

7.3 Administration and Enforcement

Administration and enforcement of this Section shall follow the administration and enforcement provisions of Section 17-503 of the Kennedale City Code.

7.4 Applicability.

Unless otherwise expressly prohibited under this section or regulated in this section, Sections 17-504 through 17-516 of the Kennedale City Code shall apply to all signs proposed in the Employment Center Zoning District.

7.5 Signs to be located on private property

All signs must be wholly located on private property. EDC-owned signs shall be located within an easement dedicated for the purpose of allowing installation, maintenance, and replacement of such signs.

7.6 Prohibited signs

Except as otherwise stated in this Code, any sign prohibited in Chapter 17 Section 17-514 of the Kennedale City Code is also prohibited within the Employment Center District. In addition, Electronic Reader Board/Message Board signs and Changeable Electronic Variable Message signs (CEVMS) (as defined in the Kennedale City Code) are also prohibited.

7.7 Sign Height and Location

Sign height, type, and location shall be as set forth in the tables below. Figures shown are for illustration purposes only. The illustrations used do not necessarily show signs meeting the standards of this Code.

TABLE 7.1		
POLE SIGNS		
Location	Maximum height (in feet)	Maximum sign face area (in square feet)
Permitted on High Ridge Rd	75	360
Additional Requirements: 1) A total of two (2) pole signs are permitted within the District. A maximum of one (1) pole sign shall be permitted per lot. Pole signs shall be permitted on High Ridge Rd only and shall be located north of Link St. 2) Pole signs shall be shared between at least two tenants/businesses within the Employment Center District. 3) Pole signs shall not be permitted without a signed, recorded agreement as described in Section 17-510(e) of the Kennedale City Code concerning unified sign agreements. 4) Pole signs will not be permitted without an approved sign plan as described in Section 17-510(d) of the Kennedale City Code concerning unified sign agreements.		

[illustration to be added]

Figure 15. Example of shared pole sign.

TABLE 7.2
SINGLE TENANT MONUMENT SIGNS

Location	Maximum Height (in feet)	Maximum sign face area (in square feet)
All parcels ⁶	12 ²	100

Additional Requirements:

- 1) The sign base and sign structure shall be brick, stone, or masonry material matching the front façade of the primary building. The sign face shall be framed on the sides by a minimum of six (6) inches of brick, stone, or masonry material matching the front façade of the primary building.
- 2) Address numbers are required on business monument signs. If the area of the address number is five (5) square feet or less, the area will not count toward the maximum sign face area. The address numbers can be placed in or encroach into the masonry perimeter.
- 3) A maximum of one (1) monument sign is permitted per business.
- 4) EDC-owned monument signs shall follow regulations in Table 7.3.



Figure 16. Example of single tenant monument sign. Photo courtesy Morpho Landscape Architecture.

TABLE 7.3		
EDC*-OWNED MULTI-TENTANT MONUMENT SIGNS		
Location	Maximum Height (in feet)	Maximum sign face area (in square feet)
To Be Determined	15	150 (each side)
1) One (1) sign of this height and area is permitted within the Employment Center Corridor Commercial sub-district. 2) The purpose of the sign is to permit multiple businesses to reserve space on a monument sign not located on the businesses' property, with design and maintenance of the sign to be the responsibility of the EDC. 3) The sign base and sign structure shall be brick, stone, or masonry material matching the front façade of the building. The sign face shall be framed on the sides by a minimum of six (6) inches of brick, stone, or masonry material matching the front façade of the building. *EDC = Kennedale Economic Development Corporation		



Figure 17. Example of brick multi-tenant sign.

TABLE 7.3

EDC-OWNED DISTRICT IDENTIFICATION SIGNS

Location	Maximum Height (in feet)	Maximum sign face area (in square feet)
Kennedale Pkwy	27	135 (each side)
Additional Requirements: 1) On property owned by the Kennedale Economic Development Corporation (EDC), the EDC is permitted to install and manage one (1) identification sign, the purpose of which is to identify the Employment Center District. The sign shall serve as a gateway feature and may also be used to provide way-finding information for sub-districts and features within the District. The sign shall not be used to identify or promote individual tenants of the District. 2) The sign(s) must be designed and maintained as an entry feature for the city and the district. 3) The sign base and sign structure shall be brick, stone, or masonry material matching the primary design theme for the District.		

The following illustrations are not intended to show signs that meet the requirements of this Code, but rather are intended to illustrate the general concept of a district identification sign.



Figures 18-20. Examples of district identification signs. Images from left to right courtesy Dsafdy, Xnatedawgx, and Stacalusa. See Appendix D for full credit information.

TABLE 7.4		
ATTACHED SIGNS		
Location	Maximum height	Maximum sign face area
Permitted on all properties	Shall not exceed 75% of façade	Maximum four hundred (400) square feet
Additional Requirements: 1) Attached signs facing existing residential or lodging uses shall be shielded or use lighting techniques that prevent the illumination from intruding into structures on adjacent or other properties at night. 2) A maximum of two (2) attached signs is allowed per business. Every sign should be an integral, subordinate element within the overall building and site design. The scale and proportion of the signage shall not overpower the building or obscure the building’s architectural features. 3) The direct painting of signs on buildings shall be prohibited except for signs less than a three-square-foot area used for building identification (such as the street address). 4) In no case shall an attached sign project above the roof line of any building, except those attached to parapet walls, and the sign may not extend above the parapet wall. 5) Signs may be illuminated with internal lighting. No exposed neon is permitted. 6) For multi-tenant buildings, the following regulations apply: (a) Each lease or tenant space shall be permitted only one attached sign per street front with a maximum of two attached signs per tenant/lease space. (b) The dimensions of each of the two signs shall be based upon the street typology that the respective building façade faces. (c) Signs may be illuminated with internal lighting. No exposed neon is permitted.		



Figure 21. Example of an attached sign.

TABLE 7.5		
AWNING SIGNS		
Location	Minimum height	Maximum sign face area
Permitted on all properties	8 ft above sidewalk/ clear zone	See below
Additional Requirements: • Awnings may encroach the sidewalk to within 2 feet of the curb (or within 2 feet of the edge of the clear zone, if building is not adjacent to the sidewalk) but must clear the sidewalk/clear zone vertically by at least 8 feet. • Permitted materials shall be canvas cloth or equivalent (no shiny or reflective materials), metal, or glass. • Awnings shall have a minimum depth of three (3) feet. • No internal illumination is permitted through the awning/overhang. • Except for wall signs permitted to be attached to canopies, lettering and/or logos on awning and canopies shall be limited to 5 inches tall on the vertically hanging fabric/face at the curb side of the awning or canopy. • Lettering on awnings or canopies is limited to the business logo, business name, and/or slogan. Phone numbers, website addresses, and other additional wording that would clutter the lettering space are prohibited.		



Figure 22. Example of an awning sign. Photo courtesy Gary Halvorson, Oregon State Archives.

7.8 Measurement of sign height

As applied to a sign, height shall be measured as the vertical distance between the highest part of the sign or its supporting structure, whichever is higher, and final finished grade at the center of the base of the sign. *Final finished grade* means the top compacted and leveled earth for the purposes of constructing a slab foundation, as shown on the approved site plan for the development for which a sign is requested.

7.9 Master Sign Plan

The owner(s) of a tract or tracts of land may file a master sign plan request in order to ask for a multi-tenant sign to be permitted or for a modification of any requirements that may apply to a sign under this Code. To request a multi-tenant sign, the property or properties in question must qualify under a unified sign agreement under Section 17-510 of the Kennedale City Code and must follow the process for requesting a unified sign agreement as stated in Section 17-510. To request a master sign plan to permit a modification of sign requirements, the owner(s) shall follow the process as stated in Section 17-511 of the Kennedale City Code.

SECTION 8. LAND USES

	Character Zone	Corridor Commercial Sub-Zone 1	Green Corridor Sub-Zone 1
<i>Land Use</i>			
Retail Sales or Service (personal service uses), <u>with no drive through facility</u>		P	
Retail Sales or Service (personal service uses), <u>with drive through facility</u> (Excluded from this category are retail sales and service establishments geared towards the automobile)		P/C	
Auto-related Sales or Service establishments		P/C	
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>		P	
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with drive through facility</u>		P/C	
Offices for business, professional, administrative, and technical services such as accountants, architects, lawyers, doctors, etc.		P	
Research laboratory headquarters, laboratories and associated facilities		P	

Character Zone	Corridor Commercial Sub-Zone 1	Green Corridor Sub-Zone 1
Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars with <u>no drive through facilities</u>	X	
Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars <u>with drive through facilities</u>	C	
Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages (with food service).		
Pet and animal sales or service (incl. vet clinic)	P	
Amusement or theme park establishment (indoor) including bowling alleys, bingo parlor, games arcades, skating, etc.	P	
Art galleries	P	
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	
Theater, cinema, dance, or music establishment	P	
Museums and other special purpose recreational institutions	P	
Fitness, recreational sports, gym, or athletic club	P	
Parks & open space, trails	P	P
Business associations and professional membership organizations	P	NP
Child day care and preschools	P	NP
Schools, libraries, and community halls	P	NP

	Character Zone	Corridor Commercial Sub-Zone 1	Green Corridor Sub-Zone 1
Universities and colleges		P	NP
Technical, trade, and specialty schools		P	NP
Hospitals and nursing establishments		P	NP
Civic uses		P	NP
Social and fraternal organizations		P	NP
Social services and philanthropic organizations		P	NP
Public administration uses (including local, state, and federal government uses, public safety, health and human services)		P	NP
Religious Institutions		P	NP
Home Occupations		P/C	NP
Multi-family residential		NP	NP
Ground floor		NP	NP
Upper floors		P/C	NP
Live-work unit		P	NP
Publishing (newspaper, books, periodicals, software)		P	NP
Motion picture and sound recording		P	NP
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)		P/C	NP

	Character Zone	Corridor Commercial Sub-Zone 1	Green Corridor Sub-Zone 1
Information services and data processing		P	
Hotels		P	
Parking, surface (primary use of property)		NP	
Parking, surface (accessory use of property)		P/C	
Parking, structured		P	
Veterinary clinic		P	
Community garden		P	
Outdoor Display		P/C	
Antennas including cell, accessory, and mounted on top of buildings.		C and SE	
Wind energy equipment		C	
Solar energy equipment		C	
Special Event		CC	CC

P= Permitted by
right

NP= Not
Permitted

P/C = Permitted with Specific
Criteria as established in
Table 5.2

P/SE = Permitted with a
Special Exception from
the Board of Adjustment

P/CC = Permitted with
approval from the City
Council

5.3 Use Criteria: All uses listed as P/C in Table 5.1 shall also meet the following standards in Table 5.2

Table 5.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Non-Residential Uses		
Retail sales or service (personal service uses) with drive through facilities	Corridor Commercial Sub-Zone 1	Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.
Auto-related Sales or Service establishments	Corridor Commercial Sub-Zone 1	Automobiles or related items for sale shall be located behind the primary structure. Service bays shall not face a public street. Site design shall provide for safe, comfortable passage for pedestrians across the property where it abuts a public street. Various site design options will be considered by staff but any design proposal shall insure pedestrians and drivers entering or exiting the site can see each other clearly and in enough time to avoid a crash. Other design options include, but are not limited to, providing a median or other pedestrian refuge for drive approaches 30 feet or wider, providing and maintaining clearly marked crosswalks across driveways or drive approaches, and other means of alerting drivers to the potential presence of pedestrians.
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services <u>with drive through facility</u>	Corridor Commercial Sub-Zone 1	Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.
Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars <u>with drive through facilities</u>	Corridor Commercial Sub-Zone 1	Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.
Residential Uses		
Home occupations	Corridor Commercial Sub-Zone 1	Home Occupations are permitted as allowed in Kennedale City Code Section 17-423.
Multi-family residential Upper Floor	Corridor Commercial Sub-Zone 1	Residential uses may not exceed fifty percent (50%) of the structure's gross floor area.
Other Uses		
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)	Corridor Commercial Sub-Zone 1	- Fleet parking and outdoor storage are prohibited. - Radio & television towers, Microwave towers, and telephone exchanges require a special exception from the Board of Adjustment.
Parking, surface (accessory use of	Corridor Commercial Sub-Zone 1	Parking shall be screened as required by this Code. Commercial parking lots (parking for a fee) are not permitted.

Table 5.2 – Use Criteria

<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
property)		
Outdoor Display	Corridor Commercial Sub-Zone 1	Outdoor display is permitted when in compliance with Section 4-227 of the Kennedale City Code. Outdoor display shall not be used for storage. For the purposes of this Code, “display” means the exhibition of goods, wares, or merchandise for sale. Vehicles, trailers, or boats shall not be displayed outdoors. Items displayed outdoors shall be located within 15 feet of the primary building entrance and shall not exceed more than 20% of the width of the front façade.
Antennas including cell, accessory, and mounted on top of buildings	Corridor Commercial Sub-Zone 1	Satellite antennas shall be regulated under Section 17-417 of the Kennedale City Code. Other uses under this category require a special exception from the Board of Adjustment.
Wind energy equipment	Corridor Commercial Sub-Zone 1	- Freestanding wind energy equipment shall be considered an accessory building and shall be subject to the requirements for such, together with all other applicable building codes and ordinances, including height limits. Wind energy production/generation shall not be the primary use of any property within the Corridor Commercial Sub-Zone 1. - Wind energy equipment shall comply with the height requirements and other requirements for accessory buildings as regulated by Kennedale City Code Section 17-405. - Wind energy equipment shall be subject to Chapter 15, Article V of the Kennedale City Code concerning loud noises (nuisances). - All portions of the wind energy system shall be a non-reflective, non-obtrusive color, subject to the approval of the Planning Director. - Wind energy equipment shall not be used for displaying any advertising and shall not be illuminated. - The electrical collection system shall be placed underground within the interior of each parcel. - A building permit and any other permit related to work required to install wind energy equipment shall be obtained prior to installation of any wind energy equipment.
Solar energy equipment	Corridor Commercial Sub-Zone 1	- Freestanding solar collectors shall be considered an accessory building and shall be subject to the requirements for such, together with all other applicable building codes and ordinances, including height limits. Solar energy production/generation shall not be the primary use of any property within the Corridor Commercial Sub-Zone 1. - Structurally attached solar collectors are permitted in the Corridor Commercial Sub-Zone 1. “Structurally attached solar collector” means solar collectors attached to an existing structure’s roof or wall or serving as a structure’s roof, wall, window or other structural member. Structurally attached solar collectors installed on a building with a sloped roof shall not project vertically above the peak of the roof. Structurally attached solar collectors installed on a building with a flat roof shall not project vertically more than five (5) feet above the roof. - Roof-mounted or structurally attached solar energy systems shall comply with the maximum height requirements in the applicable zoning district. Ground-mounted solar energy equipment shall comply with the height requirements and other requirements for accessory buildings as regulated by Kennedale City Code Section 17-405. - A building permit, electrical permit, or any other permit related to work required to install solar energy equipment shall be obtained prior to installation of any solar energy equipment.
Special Event	Corridor Commercial Sub-Zone 1 Green Corridor Sub-District 1	- Special Events require approval from the City Council. Flea markets are prohibited (indoor or outdoor). - Special Events require approval from the City Council. - It shall be unlawful to place or erect any structure, sign, bulletin board, post, pole, or advertising device of any kind whatever, or to attach to any tree, shrub, fence, railing, post within the Green Corridor; provided, however, the city manager, or his designee, may permit in writing the erection of temporary decorations on occasions of public celebrations or holidays.

EXHIBITS

- A District boundaries: property regulated by this Code
- B TBD
- C TBD

Property Regulated by This Code

The boundaries of the Employment Center district are, approximately: Kennedale Parkway to the east, the Union Pacific rail line to the west, the IH-20 frontage road to the north, and Village Creek to the south.

The Corridor Commercial Sub-District 1 is bisected by the Green Corridor Sub-District 1. The boundaries of the northern section are, approximately: the QuikTrip Planned Development District to the north, the Green Corridor Sub-District 1 to the south, High Ridge Road to the west, and Kennedale Pkwy to the east. The boundaries of the southern section are, approximately: the Green Corridor Sub-District 1 to the north, Oak Crest Drive to the south, High Ridge Road to the west, and Kennedale Pkwy to the east.

The boundaries of the Green Corridor Sub-District 1 are, approximately: Corridor Commercial Sub-District 1 to the north and to the south, High Ridge Rd to the west, and Kennedale Pkwy to the east.

More specific boundaries shall be established as properties are re-zoned under this Code.

APPENDICES

- A. Definitions
- B. Native plant lists
- C. Irrigation requirements
- D. Photo credits

APPENDIX A. DEFINITIONS

Blank wall means any building wall that is a portion of a building wall or façade without a window or door or similar architectural feature and is over four feet in height from ground level and longer than 60 feet, as measured horizontally, without having a window, door, building modulation, or other similar architectural feature meant to lessen the apparent bulk or massing of a structure.

Footcandle means the unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one foot square from a distance of one foot.

Frontage zone means the area between the pedestrian walkway or sidewalk and primary structure (or property line, for structures where no front setback is required). Pedestrians tend to avoid walking close to barriers such as buildings, storefronts, walls, or fences, in the same way that they tend to avoid walking close to the roadway. For this reason, some sub-districts in the Employment Center have a minimum frontage zone width in order to provide more comfort for pedestrians. Typically, the frontage zone is also the area in which sidewalk entertainment, such as street cafes and vendors, are located. Sometimes also referred to as a *clear zone*, the frontage zone buffers pedestrians from appurtenances, doorways, and similar obstacles.

Harvested rainwater means storm water that is conveyed from a building roof, stored in a cistern or rain barrel, and disinfected and filtered before being used.

Modulation means the stepping back or projecting forward of parts of a building.

Structure means anything constructed or erected having location on or under the ground or attached to something having location on or under the ground, but not including fences or screening walls required by this Code.

Visible Transmittance means the amount of light transmitted through a window. VT is expressed as a number between 0 and 1; the closer the number is to 1, the higher the potential for daylighting.

APPENDIX B.

NATIVE PLANTS APPROPRIATE FOR THE KENNEDALE REGION

APPENDIX B

Native Plants

The following plants are recommended by the Lady Bird Johnson Wildflower Center for use in the North Central Texas area.

Scientific Name	Common Name	Duration	Habit	Sun	Water
<i>Acer negundo</i>	Ash-leaf maple, Ash-leaved maple, Box elder, Boxelder, Fresno de guajuco	Perennial	Tree	Sun	Moist
<i>Aesculus glabra</i>	Ohio buckeye, Texas buckeye, Fetid buckeye, Horse chestnut	Perennial	Tree	Sun, Shade, Part-shade	Moist
<i>Amblyolepis setigera</i>	Huisache daisy, Butterfly daisy, Honey daisy	Annual	Herb	Part-shade	Dry
<i>Amorpha fruticosa</i>	Indigo bush, False indigo bush, False indigo, Desert false indigo	Perennial	Shrub	Sun, Part-shade	Moist
<i>Andropogon gerardii</i>	Big bluestem, Turkeyfoot	Perennial	Grass/Grass-like	Sun, Part-shade	Moist
<i>Anisacanthus quadrifidus</i> var. <i>wrightii</i>	Flame acanthus, Hummingbird bush, Wright's desert honeysuckle, Wright acanthus, Mexican flame, Wright's Mexican flame	Perennial	Shrub	Sun, Part-shade	Moist, Dry
<i>Aquilegia canadensis</i>	Eastern red columbine, Wild red columbine	Perennial	Herb	Shade, Part-shade	Moist, Dry
<i>Asclepias tuberosa</i>	Butterflyweed, Butterfly milkweed, Orange milkweed, Pleurisy root	Perennial	Herb	Sun, Part-shade	Moist, Dry
<i>Bignonia capreolata</i>	Crossvine	Perennial	Vine	Sun, Part-shade	Moist, Dry
<i>Bouteloua curtipendula</i>	Sideoats grama	Perennial	Grass/Grass-like	Sun, Part-shade	Moist, Dry
<i>Bouteloua dactyloides</i>	Buffalograss, Buffalo grass	Perennial	Grass/Grass-like	Sun	Dry
<i>Bouteloua gracilis</i>	Blue grama	Perennial	Grass/Grass-like	Sun	Dry
<i>Callicarpa americana</i>	American beautyberry, French mulberry	Perennial	Shrub	Part-shade	Moist
<i>Callirhoe digitata</i>	Finger poppy-mallow, Poppy mallow, Standing winecup, Wine cup, Winecup	Perennial	Herb	Sun	Dry
<i>Callirhoe involucrata</i>	Winecup, Purple poppy mallow	Perennial	Herb	Sun, Part-shade	Moist, Dry

<i>Campsis radicans</i>	Trumpet creeper, Trumpet vine, Common trumpet creeper, Cow vine	Perennial	Vine	Sun	Moist, Dry
<i>Carya illinoensis</i>	Pecan	Perennial	Tree	Sun	Moist
<i>Carya texana</i>	Black hickory	Perennial	Tree	Part- shade	Dry
<i>Castilleja indivisa</i>	Entireleaf indian paintbrush, Texas paintbrush, Indian paintbrush, Scarlet paintbrush, Entire-leaf indian- paintbrush	Annual	Herb	Sun	Dry
<i>Centaurea americana</i>	American basket-flower, American star-thistle, Basket-Flower, Star thistle, Shaving brush	Annual	Herb	Part- shade	Dry
<i>Cephalanthus occidentalis</i>	Common buttonbush, Buttonbush, Button willow	Perennial	Shrub	Shade, Part- shade	Wet, Moist
<i>Cercis canadensis</i> var. <i>texensis</i>	Texas redbud	Perennial	Tree	Sun, Part- shade	Dry
<i>Chromolaena odorata</i>	Jack in the bush, Fragrant boneset, Fragrant mistflower, Crucita, Blue mistflower	Perennial	Shrub	Part- shade	Dry
<i>Clematis pitcheri</i>	Purple clematis, Purple leatherflower, Leatherflower, Bluebill	Perennial	Vine	Sun, Part- shade	Moist
<i>Conoclinium coelestinum</i>	Blue mistflower	Perennial	Herb	Sun, Part- shade	Moist
<i>Cooperia drummondii</i>	Evening rain lily, Evening star rain lily	Perennial	Herb	Sun, Part- shade	Moist, Dry
<i>Coreopsis tinctoria</i>	Plains coreopsis, Golden tickseed, Goldenwave, Calliopsis	Annual	Herb	Sun, Part- shade	Moist
<i>Diospyros texana</i>	Texas persimmon, Mexican persimmon, Black persimmon, Chapote, Chapote prieto	Perennial	Tree	Sun, Part- shade	Dry
<i>Echinacea angustifolia</i>	Black Sampson, Black Samson echinacea, Narrow-leaf Coneflower	Perennial	Herb	Sun, Part- shade	Dry
<i>Echinacea purpurea</i>	Eastern purple coneflower, Purple coneflower	Perennial	Herb	Sun, Part- shade	Dry
<i>Engelmannia peristenia</i>	Engelmann's daisy, Engelmann Daisy, Cutleaf Daisy	Perennial	Herb	Sun	Dry
<i>Eryngium leavenworthii</i>	Leavenworth's eryngo, Eryngo	Annual	Herb	Sun, Part- shade	Moist
<i>Eustoma exaltatum</i>	Texas bluebells, Texas bluebell,	Annual,	Herb	Sun	Moist

<i>ssp. russellianum</i>	Bluebell, Showy prairie gentian, Prairie gentian	Biennial, Perennial			
<i>Frangula caroliniana</i>	Carolina buckthorn, Carolina false buckthorn, Indian cherry	Perennial	Tree	Part-shade	Moist
<i>Fraxinus americana</i>	White ash	Perennial	Tree	Sun, Shade, Part-shade	Moist, Dry
<i>Gaillardia pulchella</i>	Firewheel, Indian Blanket	Annual	Herb	Sun, Part-shade	Dry
<i>Glandularia bipinnatifida</i> var. <i>bipinnatifida</i>	Prairie verbena, Purple prairie verbena, Dakota mock vervain, Dakota vervain	Annual, Perennial	Herb	Sun, Part-shade	Dry
<i>Helianthus maximiliani</i>	Maximilian sunflower, Max sunflower	Perennial	Herb	Sun	Moist, Dry
<i>Hesperaloe parviflora</i>	Red yucca, Coral yucca, Red flowered false yucca, Redflower false yucca, Samandoque, Yellow yucca	Perennial	Cactus/Succulent	Sun	Dry
<i>Hibiscus laevis</i>	Halberdleaf rosemallow, Halberdleaf hibiscus, Scarlet rose mallow	Perennial	Shrub	Sun, Part-shade	Moist
<i>Hilaria belangeri</i> var. <i>belangeri</i>	Curly-mesquite	Perennial	Grass/Grass-like	Sun	Dry
<i>Ilex decidua</i>	Possumhaw, Possumhaw Holly, Deciduous Holly, Winterberry, Deciduous yaupon	Perennial	Shrub	Sun, Part-shade	Moist
<i>Ilex vomitoria</i>	Yaupon, Yaupon holly, Cassina	Perennial	Shrub, Tree	Sun, Shade, Part-shade	Moist, Dry
<i>Juglans nigra</i>	Black walnut, Eastern black walnut	Perennial	Tree	Sun, Part-shade	Moist
<i>Juniperus ashei</i>	Ashe juniper, Ashe's juniper, Mountain cedar, Blueberry juniper	Perennial	Tree	Part-shade	Dry
<i>Juniperus virginiana</i>	Eastern red cedar, Eastern redcedar, Virginia juniper	Perennial	Tree	Sun, Shade, Part-shade	Dry
<i>Lantana urticoides</i>	Texas lantana, Calico bush, West Indian shrub-verbena	Perennial	Shrub	Sun	Dry
<i>Leptochloa dubia</i>	Green sprangletop	Perennial	Grass/Grass-like	Part-shade	Dry
<i>Liatris elegans</i>	Blazing star, Gay feather, Pink-scale gayfeather, Pinkscale blazing star	Perennial	Herb	Sun	Dry
<i>Liatris mucronata</i>	Cusp gayfeather, Gayfeather, Blazing star, Narrow-leaf gayfeather, Texas	Perennial	Herb	Sun	Dry

	gayfeather, Cusp blazing star				
<i>Lobelia cardinalis</i>	Cardinal flower	Perennial	Herb	Sun, Shade, Part- shade	Wet, Moist
<i>Lonicera albiflora</i>	Western white honeysuckle, Texas honeysuckle, White honeysuckle, White shrub honeysuckle, White limestone honeysuckle	Perennial	Vine	Sun, Part- shade	Moist, Dry
<i>Lonicera sempervirens</i>	Coral honeysuckle, Trumpet honeysuckle, Woodbine	Perennial	Vine	Sun, Part- shade	Moist
<i>Lupinus texensis</i>	Texas bluebonnet, Bluebonnet, Texas lupine, Buffalo clover, Wolf-flower	Annual	Herb	Sun	Dry
<i>Machaeranthera tanacetifolia</i>	Tanseyleaf tansyaster, Tahoka Daisy, Tansy Aster	Annual	Herb	Sun, Part- shade	Dry
<i>Mahonia swaseyi</i>	Texas barberry, Texas Oregon-grape	Perennial	Shrub	Sun	
<i>Mahonia trifoliolata</i>	Agarita, Agarito, Algerita, Laredo mahonia, Laredo Oregon-grape, Trifoliate barberry	Perennial	Shrub	Sun, Part- shade	Moist, Dry
<i>Melampodium leucanthum</i>	Blackfoot Daisy, Rock daisy, Plains blackfoot	Perennial	Herb	Sun, Part- shade	Dry
<i>Monarda citriodora</i>	Lemon beebalm, Horsemint, Purple horsemint, Lemon mint, Plains horsemint, Lemon horsemint	Annual	Herb	Sun, Part- shade	Dry
<i>Muhlenbergia lindheimeri</i>	Lindheimer's muhly, Big muhly, Lindheimer muhly	Perennial	Grass/Grass-like	Sun	Moist, Dry
<i>Muhlenbergia reverchonii</i>	Seep muhly	Perennial	Grass/Grass-like	Sun	Moist, Dry
<i>Oenothera macrocarpa</i> ssp. <i>macrocarpa</i>	Bigfruit evening-primrose, Fluttermill, Missouri evening primrose	Perennial	Herb	Sun, Part- shade	Dry
<i>Oenothera speciosa</i>	Pink evening primrose, Showy evening primrose, Mexican evening primrose, Showy primrose, Pink ladies, Buttercups, Pink buttercups	Perennial	Herb	Sun	Moist, Dry
<i>Palafoxia callosa</i>	Small palafox, Small palafoxia	Annual	Herb	Sun	Dry
<i>Panicum virgatum</i>	Switchgrass, Wand panic grass	Perennial	Grass/Grass-like	Sun, Part- shade	Moist, Dry
<i>Parthenocissus quinquefolia</i>	Virginia creeper	Perennial	Vine	Sun, Shade, Part- shade	Moist
<i>Passiflora incarnata</i>	Purple passionflower, Purple passion vine, Maypop, Apricot vine	Perennial	Vine	Sun, Part-	Moist, Dry

				shade	
<i>Penstemon cobraea</i>	Wild foxglove, Prairie penstemon, Foxglove penstemon, False foxglove, Large-flowered beardtongue, Large-flowered penstemon, Prairie beardtongue, Cobaea penstemon	Perennial	Herb	Sun, Part-shade	Dry
<i>Phlox drummondii</i>	Annual phlox, Phlox, Drummond phlox	Annual	Herb	Sun, Part-shade	Dry
<i>Physostegia pulchella</i>	Beautiful false dragon-head, Showy false dragonhead	Perennial	Herb	Part-shade	Moist
<i>Platanus occidentalis</i>	American sycamore, Buttonwood, Plane-tree, Sycamore	Perennial	Tree	Sun, Shade, Part-shade	Moist
<i>Poa arachnifera</i>	Texas bluegrass, Texas blue grass	Perennial	Grass/Grass-like	Sun, Part-shade	Moist
<i>Prosopis glandulosa</i>	Honey mesquite	Perennial	Tree	Sun	Dry
<i>Prunus mexicana</i>	Mexican plum, Bigtree plum	Perennial	Tree	Sun, Part-shade	Moist, Dry
<i>Quercus fusiformis</i>	Escarpment live oak, Plateau live oak, Texas live oak, Scrub live oak, Hill country live oak, Plateau oak	Perennial	Tree	Sun, Part-shade	Dry
<i>Quercus macrocarpa</i>	Bur oak, Burr oak, Savannah oak, Overcup oak, Prairie oak, Mossy-cup oak, Mossy-overcup oak, Blue oak	Perennial	Tree	Sun, Shade, Part-shade	Wet, Moist, Dry
<i>Quercus marilandica</i>	Blackjack oak, Barren oak, Black oak, Jack oak	Perennial	Tree	Part-shade	Dry
<i>Quercus muehlenbergii</i>	Chinkapin oak, Chinquapin oak, Chestnut oak, Yellow chestnut oak, Yellow oak, Rock chestnut oak, Rock oak	Perennial	Tree	Sun, Part-shade	Dry
<i>Quercus shumardii</i>	Shumard oak, Shumard's oak, Shumard red oak, Southern red oak	Perennial	Tree	Sun, Part-shade	Moist, Dry
<i>Quercus stellata</i>	Post oak	Perennial	Tree	Part-shade	Dry
<i>Quercus texana</i>	Nuttall Oak, Texas red oak, Texas oak, Spanish oak, Rock oak	Perennial	Tree	Part-shade	
<i>Ratibida columnifera</i>	Mexican hat, Prairie coneflower, Upright prairie coneflower, Red-spike mexican-hat, Long-headed coneflower, Thimbleflower	Perennial	Herb	Sun	Moist, Dry
<i>Rhus aromatica</i>	Fragrant sumac, Aromatic sumac, Lemon sumac, Polecat bush	Perennial	Shrub	Sun, Shade, Part-	Moist, Dry

				shade	
<i>Rhus lanceolata</i>	Prairie flameleaf sumac, Flame-leaf sumac, Prairie sumac, Lance-leaf sumac	Perennial	Tree	Sun	Dry
<i>Rudbeckia hirta</i>	Black-eyed Susan, Common black-eyed Susan, Brown-eyed Susan	Annual	Herb	Sun, Shade, Part-shade	Moist, Dry
<i>Salvia azurea</i>	Pitcher sage, Big blue sage, Azure sage, Giant blue sage, Blue sage	Perennial	Herb	Part-shade	Dry
<i>Salvia farinacea</i>	Mealy blue sage, Mealy sage, Mealycup sage	Perennial	Herb	Sun	Moist
<i>Salvia greggii</i>	Autumn sage, Cherry sage, Gregg salvia	Perennial	Shrub	Sun	Dry
<i>Salvia regla</i>	Mountain sage, Royal sage	Perennial	Shrub	Shade, Part-shade	Dry
<i>Salvia roemeriana</i>	Cedar sage	Perennial	Herb	Part-shade	Dry
<i>Sapindus saponaria</i> var. <i>drummondii</i>	Western soapberry, Soapberry	Perennial	Tree	Sun, Part-shade	Moist, Dry
<i>Schizachyrium scoparium</i>	Little bluestem	Perennial	Grass/Grass-like	Sun, Part-shade	Dry
<i>Sorghastrum nutans</i>	Indiangrass, Yellow indian grass	Perennial	Grass/Grass-like	Sun, Shade, Part-shade	Moist, Dry
<i>Styphnolobium affine</i>	Eve's necklace, Eve's necklacedod, Texas sophora	Perennial	Tree	Part-shade	Dry
<i>Taxodium distichum</i>	Bald cypress, Baldcypress, Common bald cypress, Southern bald cypress, Deciduous cypress	Perennial	Tree	Sun, Part-shade	Moist
<i>Thelesperma filifolium</i>	Stiff greenthread, Greenthread	Annual	Herb	Sun	Dry
<i>Tradescantia occidentalis</i>	Prairie spiderwort, Western Spiderwort, Spiderwort	Perennial	Herb	Sun, Part-shade	Dry
<i>Tripsacum dactyloides</i>	Eastern gamagrass	Perennial	Grass/Grass-like	Part-shade	Moist
<i>Ulmus americana</i>	American elm, White elm	Perennial	Tree	Sun, Part-shade	Moist
<i>Ulmus crassifolia</i>	Cedar elm, Fall elm, Olmo	Perennial	Tree	Part-shade	Moist
<i>Ungnadia speciosa</i>	Mexican buckeye	Perennial	Tree	Sun, Part-	Dry

				shade	
<i>Vernonia baldwinii</i>	Baldwin's ironweed, Western Ironweed, Ironweed	Perennial	Herb	Sun	Moist
<i>Viburnum rufidulum</i>	Rusty blackhaw viburnum, Rusty blackhaw, Southern blackhaw, Downy viburnum	Perennial	Tree	Part-shade	Dry
<i>Wedelia texana</i>	Zexmenia, Orange zexmenia, Wedelia, Hairy wedelia, Texas creeping-oxeye	Perennial	Herb	Sun, Part-shade	Moist, Dry
<i>Yucca rupicola</i>	Twistleaf yucca, Twisted-leaf yucca, Texas yucca	Perennial	Cactus/Succulent	Sun, Part-shade	Dry

The following plants are recommended by the Texas Parks & Wildlife Department for Tarrant County (excepting southeastern Tarrant County).

Common Name	Scientific Name	Erosion Index	Wildlife Index
BLACKBERRIES-DEWBERRIES	RUBUS SPP.	EXCELLENT	EXCELLENT
PARTRIDGE PEA (PRAIRIE SENNA)	CHAMAECRISTA FASCICULATA	EXCELLENT	GOOD
MAXIMILLIAN SUNFLOWER	HELIANTHUS MAXIMILIANI	EXCELLENT	GOOD
VINE-MESQUITE	PANICUM OBTUSUM	EXCELLENT	GOOD
YELLOW INDIANGRASS	SORGHASTRUM NUTANS	EXCELLENT	EXCELLENT
PRAIRIE CORDGRASS	SPARTINA PECTINATA	EXCELLENT	EXCELLENT
AMERICAN ELDERBERRY	SAMBUCUS CANADENSIS	EXCELLENT	GOOD
SWITCHGRASS	PANICUM VIRGATUM	EXCELLENT	EXCELLENT
ILLINOIS BUNDLE FLOWER (PRAIRIE MIMOSA)	DESMANTHUS ILLINOENSIS	EXCELLENT	EXCELLENT
CHICKASAW PLUM	PRUNUS ANGUSTIFOLIA	EXCELLENT	EXCELLENT
BIG BLUESTEM	ANDROPOGON GERARDII	EXCELLENT	GOOD
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	EXCELLENT	GOOD
COMMON REED	PHRAGMITES AUSTRALIS	EXCELLENT	GOOD
ASHE JUNIPER	JUNIPERUS ASHEI	EXCELLENT	GOOD
COTTONWOOD	POPULUS DELTOIDES	EXCELLENT	GOOD
COMMON CURLYMESQUITE	HILARIA BERLANGERI	EXCELLENT	GOOD
COFFEE BEAN	SESBANIA MACROCARPA	EXCELLENT	EXCELLENT
FRAGRANT SUMAC	RHUS AROMATICA	EXCELLENT	EXCELLENT
VIRGINIA CREEPER	PARTHENOCISSUS QUINQUEFOLIA	EXCELLENT	GOOD
BROOMSEDGE BLUESTEM	ANDROPOGON VIRGINICUS	EXCELLENT	GOOD
SOFTSTEM BULRUSH	SCIRPUS TABERNAEMONTANI (S. VALIDUS)	EXCELLENT	GOOD
SALTMARSH BULRUSH	SCIRPUS MARITIMUS	EXCELLENT	GOOD

WINGED ELM	ULMUS ALATA	EXCELLENT	GOOD
DELTA ARROWHEAD	SAGITTARIA PLATYPHYLLA	EXCELLENT	GOOD
WATER SMARTWEED	POLYGONUM AMPHIBIUM	EXCELLENT	EXCELLENT
PENNSYLVANIA SMARTWEED	POLYGONUM PENSYLVANICUM	EXCELLENT	EXCELLENT
CORALBERRY	SYMPHORICARPOS ORBICULATUS	EXCELLENT	EXCELLENT
LONG-LEAF PONDWEED	POTAMOGETON NODOSUS	EXCELLENT	GOOD
ROUND HEAD BUSHCLOVER (ROUNDHEAD LESPEDEZA)	LESPEDEZA CAPITATA	EXCELLENT	GOOD
DOTTED SMARTWEED	POLYGONUM PUNCTATUM	EXCELLENT	GOOD
TRUMPET HONEYSUCKLE	LONICERA SEMPERVIRENS	EXCELLENT	GOOD
LEAFY PONDWEED	POTAMOGETON FOLIOSUS	EXCELLENT	GOOD
GIANT CANE	ARUNDINARIA GIGANTEA	EXCELLENT	GOOD
WESTERN WHEATGRASS	ELYTRIGIA SMITHII (AGROPYRON SMITHII)	EXCELLENT	GOOD
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	EXCELLENT	GOOD
COMMON TRUMPET-CREEPER	CAMPSIS RADICANS	EXCELLENT	GOOD
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	EXCELLENT	GOOD
PURPLETOP	TRIDENS FLAUUS	EXCELLENT	GOOD
BLACK WILLOW	SALIX NIGRA	EXCELLENT	FAIR
WESTERN INDIGO (SCARLET PEA)	INDIGOFERA MINIATA	EXCELLENT	FAIR
PECAN	CARYA ILLINOENSIS	EXCELLENT	EXCELLENT
DOWNY VIBURNUM (RUSTY BLACKHAW)	VIBURNUM RUFIDULUM	EXCELLENT	EXCELLENT
RIVERBANK GRAPE	VITIS RIPARIA	EXCELLENT	EXCELLENT
CROTON, SPP.	CROTON, SPP.	EXCELLENT	EXCELLENT
AMERICAN BEAUTYBERRY	CALLICARPA AMERICANA	EXCELLENT	EXCELLENT
TEXAS PERSIMMON	DIOSPYROS TEXANA	EXCELLENT	GOOD
MUSTANG GRAPE	VITIS MUSTANGENSIS	EXCELLENT	GOOD
FARKLEBERRY (TREE HUCKLEBERRY)	VACCINIUM ARBOREUM	EXCELLENT	GOOD
RED MULBERRY	MORUS RUBRA	EXCELLENT	GOOD
TEXAS MULBERRY	MORUS MICROPHYLLA	EXCELLENT	GOOD
BROADLEAF WOODOATS	CHASMANTHIUM LATIFOLIUM	EXCELLENT	GOOD
PINCHOT JUNIPER (REDBERRY JUNIPER)	JUNIPERUS PINCHOTII	EXCELLENT	GOOD
BLUE GRAMA	BOUTELOUA GRACILIS	EXCELLENT	GOOD
GREEN ASH (RED ASH)	FRAXINUS PENNSYLVANICA	EXCELLENT	GOOD
BLACK WALNUT	JUGLANS NIGRA	EXCELLENT	GOOD
GREEN SPRANGLETOP	LEPTOCHLOA DUBIA	EXCELLENT	GOOD
LITTLE WALNUT (NOGALITO)	JUGLANS MICROCARPA	EXCELLENT	GOOD
BOXELDER	ACER NEGUNDO	EXCELLENT	GOOD
HONEY MESQUITE	PROSOPIS GLANDULOSA VAR. GLANDULOSA	EXCELLENT	GOOD
BUFFALOGRASS	BUCHLOE DACTYLOIDES	EXCELLENT	GOOD
DESERT WILLOW	CHILOPSIS LINEARIS	EXCELLENT	FAIR

COMMON PERSIMMON	DIOSPYROS VIRGINIANA	GOOD	EXCELLENT
LOTEBUSH	ZIZYPHUS OBTUSIFOLIA	GOOD	GOOD
POSSUM-HAW (DECIDUOUS HOLLY)	ILEX DECIDUA	GOOD	GOOD
EASTERN GAMAGRASS	TRIPSACUM DACTYLOIDES	GOOD	GOOD
CAROLINA BUCKTHORN	RHAMNUS CAROLINIANA	GOOD	GOOD
OSAGE ORANGE (BOIS D'ARC)	MACLURA POMIFERA	GOOD	GOOD
SESSILELEAF TICKCLOVER	DESMODIUM SESSILIFOLIUM	GOOD	GOOD
SMOOTH SUMAC	RHUS GLABRA	GOOD	GOOD
COMMON HONEY LOCUST	GLEDITSIA TRIACANTHOS	GOOD	GOOD
TROPIC CROTON	CROTON GLANDDULOSUS	GOOD	FAIR
WOOLLY CROTON	CROTON CAPITATUS	GOOD	FAIR
CURLTOP SMARTWEED (WILLOW-WEED)	POLYGONUM LAPTHIFOLIUM	GOOD	FAIR
OKLAHOMA BLACKBERRY	RUBUS OKLAHOMUS	GOOD	EXCELLENT
SUGAR HACKBERRY (SUGARBERRY)	CELTIS LAEVIGATA	GOOD	GOOD
COMMON BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	GOOD	GOOD
CANADA WILDRYE	ELYMUS CANADENSIS	GOOD	GOOD
ROUGHLEAF DOGWOOD	CORNUS DRUMMONDII	GOOD	GOOD
CHINKAPIN OAK	QUERCUS MUHLENBERGII	GOOD	GOOD
INDIGOBUSH (FALSE INDIGO)	AMORPHA FRUTICOSA	GOOD	GOOD
SLENDER LESPEDEZA	LESPEDEZA VIRGINICA	GOOD	GOOD
HAIRY GRAMA	BOUTELOUA HIRSUTA	GOOD	GOOD
FROST GRAPE	VITIS CORDIFOLIA	GOOD	GOOD
WHITE ASH	FRAXINUS AMERICANA	GOOD	GOOD
AGARITO	MAHONIA TRIFOLIOLATA	GOOD	GOOD
AMERICAN ELM	ULMUS AMERICANA	GOOD	GOOD
BLACK HICKORY (TEXAS HICKORY)	CARYA TEXANA	GOOD	GOOD
SAND LOVEGRASS	ERAGROSTIS TRICHODES	GOOD	GOOD
SLIPPERY ELM	ULMUS RUBRA	GOOD	GOOD
CEDAR ELM	ULMUS CRASSIFOLIA	GOOD	FAIR
BLUE SAGE	SALVIA AZUREA	GOOD	FAIR
SWAMP PRIVET	FORESTIERA ACUMINATA	GOOD	EXCELLENT
ALABAMA SUPPLEJACK (RATTAN VINE)	BERCHEMIA SCANDENS	GOOD	GOOD
VIRGINIA WILDRYE	ELYMUS VIRGINICUS	GOOD	GOOD
YELLOW SWEETCLOVER	MELILOTUS OFFICINALIS	GOOD	GOOD
GUM BUMELIA (CHITTAMWOOD)	BUMELIA LANUGINOSA	GOOD	GOOD
PURPLE PRAIRIE CLOVER	DALEA PURPUREA	GOOD	GOOD
CAROLINA SNAILSEED	COCCULUS CAROLINUS	GOOD	GOOD
SEDGES	CAREX SPP.	GOOD	GOOD
GREEN HAWTHORN	CRATAEGUS VIRDIS	GOOD	GOOD
SAW GREENBRIAR	SMILAX BONA-NOX	GOOD	GOOD
EASTERN HOP HORNBEAN	OSTRYA VIRGINIANA	GOOD	FAIR

FLORIDA PASPALUM	PASPALUM FLORIDANUM	GOOD	FAIR
REVERCHON HAWTHORN	CRATAEGUS REVERCHONI	GOOD	FAIR
SACAHUISTA (BEARGRASS)	NOLINA SPP.	GOOD	FAIR
MEXICAN PLUM	PRUNUS MEXICANA	GOOD	GOOD
CATCLAW SENSITIVEBRIAR	SCHRANKIA NUTTALLI	GOOD	GOOD
ELBOWBUSH	FORESTIERA PUBESCENS	GOOD	FAIR
COMMON BEEBUSH (WHITEBRUSH)	ALOYSIA GRATISSIMA	GOOD	FAIR
COCKSPUR HAWTHORN	CRATAEGUS CRUSGALLI	GOOD	FAIR
DOWNY HAWTHORN	CRATAEGUS MOLLIS	GOOD	FAIR
TEXAS BLUEBONNET	LUPINUS TEXENSIS	GOOD	FAIR
AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	GOOD	FAIR
FERN ACACIA (PRAIRIE ACACIA)	ACACIA ANGUSTISSIMA	GOOD	FAIR
MEXICAN PRIMROSE	OENOTHERA SPECIOSA	GOOD	LOW
YELLOW NUTGRASS (CHUFA)	CYPERUS ESCULENTUS	GOOD	EXCELLENT
WHITE CLOVER	TRIFOLIUM REPENS	GOOD	GOOD
COMMON GREENBRIAR	SMILAX ROTUNDIFOLIA	GOOD	GOOD
INLAND CEANOTHUS (REDROOT)	CEANOTHUS HERBACEUS	GOOD	GOOD
SILVER BLUESTEM	BOTHRIOCHLOA LAGUROIDES	GOOD	FAIR
RICE CUTGRASS	LEERSIA ORYZOIDES	GOOD	FAIR
ENGELMANN DAISY	ENGELMANNIA PINNATIFIDA	GOOD	FAIR
TEXAS SIGNALGRASS (TEXAS MILLET)	BRACHIARIA TEXANA	GOOD	FAIR
SKELETONLEAF GOLDEN-EYE	VIGUIERA STENOLOBA	GOOD	FAIR
HEATH ASTER	ASTER ERICOIDES	GOOD	FAIR
PLAINS COREOPSIS (GOLDEN TICKSEED)	COREOPSIS TINCTORIA	GOOD	FAIR
HEARTLEAF AMPELOPSIS	AMPELOPSIS CORDATA	FAIR	GOOD
COMMON RAGWEED	AMBROSIA ARTEMISIIFOLIA	FAIR	GOOD
EASTERN REDBUD	CERCIS CANADENSIS	FAIR	FAIR
SLICK SEED WILDBEAN	STROPHOSTYLES LEIOSPERMA	FAIR	FAIR
REDROOT PIGWEED	AMARANTHUS RETROFLEXUS	FAIR	FAIR
UPRIGHT PRAIRIE CONEFLOWER (MEXICAN HAT)	RATIBIDA COLUMINFERA	FAIR	FAIR
PRAIRIE SUMAC	RHUS LANCEOLATA	FAIR	FAIR
INDIAN BLANKET	GAILLARDIA PULCHELLA	FAIR	FAIR
LITTLE-LEAF SUMAC	RHUS MICROPHYLLA	FAIR	FAIR
COBAEA PENSTEMON (FOXGLOVE)	PENSTEMON COBAEA	FAIR	FAIR
LEAVENWORTH ERYNGIUM	ERYNGIUM LEAVENWORTHII	FAIR	FAIR
NETLEAF HACKBERRY	CELTIS RETICULATA	FAIR	GOOD
WESTERN RAGWEED	AMBROSIA CUMANENSIS	FAIR	GOOD
PRAIRIE SUNFLOWER	HELIANTHUS PETIOLARIS	FAIR	GOOD
TRAILING WILDBEAN	STROPHOSTYLES HELVOLA	FAIR	FAIR
SLIMLEAF SCURFPEA (WILD ALFALFA)	PSORALIDIUM TENUIFLORA	FAIR	FAIR
VIRGINIA TEPHROSIA (GOAT'S	TEPHROSIA VIRGINIANA	FAIR	FAIR

RUE)			
TEXAS SOPHORA (EVE'S NECKLACE)	SOPHORA AFFINIS	FAIR	FAIR
EVERGREEN SUMAC	RHUS VIRENS	FAIR	FAIR
GOLDEN CURRANT	RIBES AUREUM	FAIR	FAIR
BEEBALM (WILD BERGAMOT)	MONARDA FISTULOSA	FAIR	LOW
PROSTRATE KNOTWEED	POLYGONUM AVICULARE	FAIR	FAIR
POKEBERRY (POKEWEED)	PHYTOLACCA AMERICANA	FAIR	FAIR
TEXAS COLUBRINA	COLUBRINA TEXENSIS	FAIR	FAIR
BARNYARD GRASS	ECHINOCHLOA CRUSGALLI VAR. CRUSGALLI	FAIR	GOOD
GUAYACAN	GUAIAACUM ANGUSTI-FOILIIUM	FAIR	FAIR
COMPASSPLANT	SILPHIUM LACINIATUM	FAIR	FAIR
PURPLE CONEFLOWER	ECHINACEA PALLIDA	FAIR	FAIR
CHOLLA	OPUNTIA (MULTIPLE SPECIES)	FAIR	FAIR
PRICKLYPEAR	OPUNTIA SPP.	FAIR	FAIR
AWNLESS BUSH SUNFLOWER	SIMSIA CALVA	FAIR	FAIR
LOW RUELLIA (HAIRY WILD-PETUNIA)	RUELLIA HUMILIS	FAIR	FAIR
BLACK DALEA	DALEA FRUTESCENS	FAIR	LOW
COMMON LANTANA	LANTANA HORRIDA	FAIR	LOW
AUTUMN SAGE	SALVIA GREGGII	FAIR	LOW
ROUGH BUTTOMWEED (POOR-JOE)	DIODIA TERES	FAIR	FAIR
CATCLAW ACACIA	ACACIA GREGGII	FAIR	FAIR
SPIKERUSH	ELEOCHARIS SPP.	FAIR	LOW
WESTERN SOAPBERRY	SAPINDUS SAPONARIA VAR. DRUMMONDII	FAIR	LOW
BEARDED SPRANGLETOP	LEPTOCHLOA FASCICULARIS	LOW	FAIR
FLATSLEDGE	CYPERUS SPP.	LOW	FAIR
BUSHY KNOTWEED	POLYGONUM RAMOSISSIMUM	LOW	LOW
BEAKRUSH	RHYNCHOSPORA SPP.	LOW	LOW
COMMON POOLMAT	ZANNICHELLIA PALUSTRIS	LOW	FAIR
LANCELEAF GAILLARDIA	GAILLARDIA AESTIVALIS	LOW	LOW
DUCKWEEDS	FAMILY LEMNACEAE	LOW	FAIR
KIDNEYWOOD	EYSENHARDTIA TEXANA	LOW	LOW
MESCALBEAN (TEXAS MOUNTAIN LAUREL)	SOPHORA SECUNDIFLORA	LOW	LOW
BEGGAR'S TICKS	BIDENS LAEVIS	LOW	LOW
SOUTHERN NAIAD	NAJAS GUADALUPENSIS	LOW	LOW
MEXICAN BUCKEYE (MONILLA)	UNGNADIA SPECIOSA	LOW	LOW

APPENDIX C. IRRIGATION

- I. *Control by automated irrigation system.* Landscaped areas shall be controlled by an automatically controlled timer, unless the use of the property would otherwise prohibit use of a timer. Irrigation systems shall be installed with a rain shut off sensor.
 - (a) The irrigation system shall be designed so that overspray onto structures, streets, sidewalks, windows, walls, and fences is minimized.
 - (b) High-efficiency irrigation systems, such as (but not limited to) drip or soaker hose systems, are required for non-turf areas.
 - (c) Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be required as close as possible to the point of connection of the water supply to minimize water loss in case of an emergency (such as a main line break) or routine repair.
- II. *Cisterns.* The use of cisterns for rainwater harvesting is permitted.
 - (a) Harvest rainwater shall be used for irrigation only. Piping for rainwater harvesting systems shall be separate from and shall not include any direct connection to any potable water piping or to the city's sanitary sewer system. Cisterns shall not be used to provide potable water. Filter systems are required to remove solids and debris and shall be treated or controlled to prevent mosquito breeding.
 - (b) Cisterns shall be located in the rear yard or side yard and must be screened so as not to be seen from the public street. Screening must meet the screening regulations of this Code.
 - (c) Cisterns shall not exceed ten (10) percent coverage in any required yard. The maximum height of any cistern shall be ten (10) feet.
 - (d) Cisterns shall be located a minimum of eight (8) feet from any side lot line and a minimum of eight (8) feet from any rear lot line.
 - (e) Cisterns shall be made of durable materials sufficient to withstand weight and pressure from water storage and resist leaking or corrosion.
 - (f) Every irrigation outlet shall be permanently identified with an indelibly marked placard stating: "CAUTION: HARVESTED RAINWATER; DO NOT DRINK."
 - (g) Installation and repair of cisterns requires an irrigation permit or plumbing permit, as applicable, from the City of Kennedale. Cisterns larger than 175 square feet require an accessory building permit.
 - (h) Rain barrels with capacity of 100 gallons or less shall not require an irrigation or plumbing permit but shall meet all other requirements of this sub-section.
 - (i) The design, maintenance, and use of rainwater harvesting systems are the responsibility of the individual system owners

APPENDIX D. IMAGE CREDITS

All images in this document are courtesy City of Kennedale or Livable Plans & Codes unless otherwise stated below.

Figure 16. Morpho Landscape Architecture

Figure 18. Dsafdy (GFDL or CC-BY-SA-3.0-2.5-2.0-1.0, via Wikimedia Commons)

Figure 19. Xnatedawgx (Own work) [(CC-BY-SA-3.0 or GFDL), via Wikimedia Commons]

Figure 20. Stacalusa (Own work) (Public domain), via Wikimedia Commons

Figure 22. Gary Halvorson, Oregon State Archives



Date: October 22, 2013

Agenda Item No: REGULAR ITEMS - H.

I. Subject:

Consider setting a regular date and time for Economic Development Corporation meetings.

II. Originated by:

Bob Hart

III. Summary:

As membership has changed, the board may wish to adjust current meeting dates and times.

IV. Recommendation:

Approve

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: STAFF ANNOUNCEMENTS/REPORTS - A.

I. Subject:

Updates and information from the Executive Director.

1. TXDOT variance request on Kennedale Parkway
2. Green Ribbon Grant project status
3. Foxy Propaganda/The Fowler Group
4. Urgent Plus Care
5. Surplus Warehouse space
6. 12 by 12 Meetings
7. Link Street meeting with Tarrant County
8. Meeting with TransWestern

II. Originated by:

Bob Hart

III. Summary:

At this time Executive Director Bob Hart and Jack Thompson from Orasi Development will provide updates on the listed topics.

IV. Recommendation:

None

V. Alternative Actions:

VI. Attachments:



Date: October 22, 2013

Agenda Item No: EXECUTIVE SESSION - A.

I. Subject:

The Economic Development Corporation will meet in closed session pursuant to Section 551.072 of the Texas Government Code to deliberate the purchase, lease, or value of real property.

1. Discuss the sale of property at 1000 E Kennedale Parkway.
2. Discuss the sale of Oak Crest pad sites.

II. Originated by:

Bob Hart

III. Summary:

This discussion will be held during executive session.

IV. Recommendation:

V. Alternative Actions:

VI. Attachments: