



**KENNEDALE**  
Planning and Zoning Commission  
www.cityofkennedale.com

## **KENNEDALE PLANNING & ZONING COMMISSION**

### **AGENDA**

#### **COMMISSIONERS - REGULAR MEETING**

**October 17, 2013**

**CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE**

**WORK SESSION - 6:00 PM**  
**REGULAR SESSION - 7:00 PM**

#### **I. CALL TO ORDER**

#### **II. ROLL CALL**

#### **III. WORK SESSION**

A. Discuss any item on the Regular Session agenda

B. Discuss creation or modification of zoning districts to implement the comprehensive land use plan

C. Discuss use of form-based codes in implementing the comprehensive land use plan at the Bowman Springs/Dick Price & Kennedale Pkwy intersection

#### **IV. REGULAR SESSION**

#### **V. CALL TO ORDER**

#### **VI. ROLL CALL**

#### **VII. MINUTES APPROVAL**

A. Review and consider approval of minutes from the September 19, 2013 Planning & Zoning Commission regular meeting

#### **VIII. VISITOR/CITIZENS FORUM**

*At this time, any person with business before the Planning and Zoning Commission not scheduled on the Agenda may speak to the Commission, provided that an official 'Speaker's Request Form' has been completed and submitted to the Commission Secretary prior to the start of the meeting. All comments must be directed towards the Chair, rather than individual commissioners or staff. All speakers must limit their comments to the subject matter as listed on the 'Speaker's Request Form.' No formal action can be taken on these items.*

#### **IX. REGULAR ITEMS**

A. Planning & Zoning Commission Chair and Vice-Chair appointments

B. CASE # PZ 13-05 to receive comments and consider approval on an ordinance amending Chapter 17, Article VI, "Zoning", of the code of ordinances of the City of Kennedale, Texas, as amended, by

establishing a new zoning district, "Employment Center District" and regulations for same, including regulations on permitted uses, building design, site design, landscaping, and signs.

- A. Staff Presentation
- B. Public Hearing
- C. Staff Response and Summary
- D. Action by the Commission

C. CASE # PZ 13-06 to receive comments and consider approval on a request by the City of Kennedale and the Kennedale Economic Development Corporation for a zoning change and ordinance adopting such change for 20 parcels totaling approximately 5 acres from "C-1" Restricted Commercial District to "EC" Employment Center District for properties located at 1101, 1103, 1105, 1107, 1109, 1111, 1113, 1115, 1117, 1119, 1121, & 1125 W Kennedale Pkwy, and 5409, 5413, 5417, 5421, 5429, 5433, & 5437 High Ridge Rd, with legal description of Oak Crest Addition Block 4 Lots 8, 9, 10A, 11A, 12A, 13A, 14-18, 19A, 20-26, Tarrant County, Texas. The property in question is owned by the City of Kennedale and the Kennedale Economic Development Corporation.

- A. Staff Presentation
- B. Public Hearing
- C. Staff Response and Summary
- D. Action by the Commission

## **X. REPORTS/ANNOUNCEMENTS**

## **XI. ADJOURNMENT**

In compliance with the Americans with Disabilities Act, the City of Kennedale will provide for reasonable accommodations for persons attending City Council meetings. This building is wheelchair accessible, and parking spaces for disabled citizens are available. Requests for sign interpreter services must be made forty-eight (48) hours prior to the meetings. Please contact Amethyst Cirno, City Secretary, at 817.985.2104 or (TDD) 1.800.735.2989

## **CERTIFICATION**

I certify that a copy of the October 17, 2013, Planning and Zoning Commission agenda was posted on the City Hall bulletin board next to the main entrance of the City Hall building, 405 Municipal Drive, of the City of Kennedale, Texas, in a place convenient and readily accessible to the general public at all times and said agenda was posted at least 72 hours preceding the schedule time of said meeting, in accordance with Chapter 551 of the Texas Government Code.



Amethyst G. Cirno, City Secretary



**Date:** October 17, 2013

**Agenda Item No:** WORK SESSION - A.

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**I. Subject:**

Discuss any item on the Regular Session agenda

**II. Originated by:**

**III. Summary:**

During this agenda item, the Commission may discuss any item on the regular session agenda. No action may be taken on this item during the work session, and no comments from the public may be heard or considered until the regular session.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

**VIII. Alternative Actions:**

**IX. Attachments:**



**Date:** October 17, 2013

**Agenda Item No:** WORK SESSION - B.

---

**I. Subject:**

Discuss creation or modification of zoning districts to implement the comprehensive land use plan

**II. Originated by:**

**III. Summary:**

As I continue drafting revisions to our zoning standards, it would help guide my work to know what some of the Commission's concerns are about our current zoning classifications or about potential land development patterns. I've attached to this staff report an excerpt from the comprehensive plan that shows the Future Land Use Map and describes the land use character districts. A description of our current zoning districts and regulations are available online at the municode website ([www.municode.com](http://www.municode.com); click on "code library"); I can also email a link if that would be easier for you.

During the next several work sessions, I would appreciate hearing your concerns and comments on each of the character districts. Remember, the districts laid out in the Future Land Use Plan are not based on uses allowed in each district but are instead based on other development qualities, such as character, intensity, and pattern. Use plays a role in the character of each district, but it is subservient to the other development qualities. Therefore your concerns and comments should focus less on which uses should be permitted in which district and provide more input on each district's character, intensity, and pattern. Community preferences, land suitability, access, and environmental factors (areas worthy of preservation, areas with drainage or flooding problems, soil suitability for different uses, potential trail locations, etc.) are also factors to consider.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

None

**VIII. Alternative Actions:**

**IX. Attachments:**



**Date:** October 17, 2013

**Agenda Item No:** WORK SESSION - C.

---

**I. Subject:**

Discuss use of form-based codes in implementing the comprehensive land use plan at the Bowman Springs/Dick Price & Kennedale Pkwy intersection

**II. Originated by:**

**III. Summary:**

The Commission members have indicated they would like to continue working on this item while the Employment Center form-based code is developed. I will be happy to incorporate any additional comments or changes you may have considered since the last P&Z meeting. I could make the changes or address comments as part of the next draft.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

**VIII. Alternative Actions:**

**IX. Attachments:**



**Date:** October 17, 2013

**Agenda Item No:** MINUTES APPROVAL - A.

---

**I. Subject:**

Review and consider approval of minutes from the September 19, 2013 Planning & Zoning Commission regular meeting

**II. Originated by:**

**III. Summary:**

The minutes from the September 2013 meeting are attached to this message for your review and consideration for approval.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

**VIII. Alternative Actions:**

**IX. Attachments:**

|    |                       |                           |
|----|-----------------------|---------------------------|
| 1. | 09.19.2013 PZ Minutes | 09.19.2013 PZ Minutes.doc |
|----|-----------------------|---------------------------|

**KENNEDALE PLANNING & ZONING COMMISSION**  
**MINUTES**  
**COMMISSIONERS - REGULAR MEETING**  
**September 19, 2013**  
**CITY HALL COUNCIL CHAMBERS, 405 MUNICIPAL DRIVE**  
  
**WORK SESSION - 6:30 PM**  
**REGULAR SESSION - 7:00 PM**

**I. CALL TO ORDER**

Mr. Harvey called the meeting to order at 6:30 PM.

**II. ROLL CALL**

Ms. Roberts called roll.

Members present: Ernest Harvey (chair), Michael Herring, Carolyn Williamson, Don Rawe (alternate), Martin Young (alternate). Members absent: Tom Pirtle (vice-chair). A quorum was present. The alternate members were asked to serve as regular members for this meeting.

Staff present: Rachel Roberts (director of planning)

**III. WORK SESSION**

**A. Discuss any item on the Regular Session agenda**

The Commission discussed the Employment Center code. Ms. Roberts gave an overview of the code.

Mr. Harvey asked a number of questions about the content of the code and recommended some changes to be made. Jay Narayana of Livable Plans & Codes, 8516 Bridge St, North Richland Hills, is the city's consultant for drafting the Employment Center code, and she replied to Mr. Harvey's question. She said this code is about the district as a whole, and about the whole development opportunity, and taking the vision for this area and trying to translate it to zoning, realizing that the city is not ready to develop a code for the rest of the area.

Ms. Roberts and Ms. Narayana responded to the Commission's comments about the proposed code.

**B. Discuss creation or modification of zoning districts to implement the comprehensive land use plan**

The Commission did not have time to discuss this item.

**C. Discuss use of form-based codes in implementing the comprehensive land use plan at the Bowman Springs/Dick Price & Kennedale Pkwy intersection**

The Commission did not have time to discuss this item.

The work session closed at 7:04 PM.

#### **IV. REGULAR SESSION**

##### **V. CALL TO ORDER**

Mr. Harvey called the regular session to order at 7:04 PM.

##### **VI. ROLL CALL**

Ms. Roberts called roll.

Members present: Ernest Harvey (chair), Michael Herring, Carolyn Williamson, Don Rawe (alternate), Martin Young (alternate). Members absent: Tom Pirtle (vice-chair). A quorum was present.

Staff present: Rachel Roberts (director of planning); James Cowey (arrived at 7:18 PM)

##### **VII. MINUTES APPROVAL**

A. Review and approve minutes from the August 15, 2013 Planning & Zoning Commission regular meeting

Mr. Herring made a motion to approve the minutes, seconded by Mr. Rawe. The motion passed with all in favor except Mr. Harvey, who abstained.

##### **VIII. VISITOR/CITIZENS FORUM**

No one registered to speak.

##### **IX. REGULAR ITEMS**

**A. CASE # PZ 13-05 to receive comments and consider approval on an ordinance amending Chapter 17, Article VI, "Zoning", of the code of ordinances of the City of Kennedale, Texas, as amended, by establishing a new zoning district, "Employment Center District" and regulations for same, including regulations on permitted uses, building design, site design, landscaping, and signs.**

###### **A. Staff Presentation**

Ms. Roberts gave a brief presentation.

###### **B. Public Hearing**

Hollis Matthews, 1252 Elmbrook Dr, addressed the Commission against Case PZ 13-05. He said he is concerned with the whole concept, setting up special rules for city-owned and Economic Development Corporation-owned property. He also expressed a concern with the city or EDC owning property at all.

###### **C. Staff Response and Summary**

Ms. Roberts responded to Mr. Matthews' comments and to comments from the Commission made during the work session.

The Commission discussed each section of the code and suggested a number of changes. Ms. Williamson left the meeting at 8:25 P.M.

#### **D. Action by the Commission**

Mr. Herring motioned to table Case PZ 13-05 until the Commission's October meeting. The motion was seconded by Mr. Young and passed with all in favor except Mr. Harvey, who abstained.

Mr. Harvey thanked staff for the amount of work the team put into the document.

**B. CASE # PZ 13-06 to receive comments and consider approval on a request by the City of Kennedale and the Kennedale Economic Development Corporation for a zoning change and ordinance adopting such change for 20 parcels totaling approximately 5 acres from "C-1" Restricted Commercial District to "EC" Employment Center District for properties located at 1101, 1103, 1105, 1107, 1109, 1111, 1113, 1115, 1117, 1119, 1121, & 1125 W Kennedale Pkwy, and 5409, 5413, 5417, 5421, 5429, 5433, & 5437 High Ridge Rd, with legal description of Oak Crest Addition Block 4 Lots 8, 9, 10A, 11A, 12A, 13A, 14-18, 19A, 20-26, Tarrant County, Texas. The property in question is owned by the City of Kennedale and the Kennedale Economic Development Corporation.**

#### **A. Staff Presentation**

Ms. Roberts recommended tabling the case until the October Planning & Zoning Commission meeting.

#### **B. Public Hearing**

No one registered to speak.

#### **C. Staff Response and Summary**

No response was needed.

#### **D. Action by the Commission**

Mr. Herring motioned to table the case until the Commission's October meeting, seconded by Mr. Rawe. The motion passed with all in favor except Mr. Harvey, who abstained.

### **X. REPORTS/ANNOUNCEMENTS**

Ms. Roberts reminded the Commission that board applications were due the following day. She also said the city would be holding a bird identification workshop on September 28<sup>th</sup>. Mr. Harvey told the Commission about an upcoming workshop at the North Central Texas Council of Governments concerning green infrastructure.

### **XI. ADJOURNMENT**

Mr. Young made a motion to adjourn, seconded by Mr. Herring. The motion passed with all in favor except Mr. Harvey, who abstained.

The meeting adjourned at 10:25 PM.



**Date:** October 17, 2013

**Agenda Item No:** REGULAR ITEMS - A.

---

**I. Subject:**

Planning & Zoning Commission Chair and Vice-Chair appointments

**II. Originated by:**

**III. Summary:**

The City Council recently changed the board appointment calendar so that appointments are made in (and terms begin in) October. The Council recently completed its board appointments for the new terms and, as part of the appointment process, has asked the Commission to make a recommendation on who should be appointed Chair and Vice-Chair. Please make your recommendation during the upcoming meeting, and I will forward your recommendation to Council at its November meeting.

In addition, please note that the following changes have been made to the Planning & Zoning Commission membership. New regular members appointed to the board are Stephen Brim (has served on KKB and the Parks Board), Kathleen McFadden, and Mike Walker. Don Rawe has been moved to a regular member position, and Carolyn Williamson is now an alternate. Martin Young has been moved to the Board of Adjustment. Training for new members will be scheduled soon.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

**VIII. Alternative Actions:**

**IX. Attachments:**



**Date:** October 17, 2013

**Agenda Item No:** REGULAR ITEMS - B.

---

**I. Subject:**

CASE # PZ 13-05 to receive comments and consider approval on an ordinance amending Chapter 17, Article VI, "Zoning", of the code of ordinances of the City of Kennedale, Texas, as amended, by establishing a new zoning district, "Employment Center District" and regulations for same, including regulations on permitted uses, building design, site design, landscaping, and signs.

- A. Staff Presentation
- B. Public Hearing
- C. Staff Response and Summary
- D. Action by the Commission

**II. Originated by:**

Rachel Roberts, City Planner

**III. Summary:**

This item is a continuation of a case considered by the Commission during its October meeting. The Code you are considering has been revised based on comments from the Commission last month. For your reference, last month's staff report is at the end of this report.

The images shown in the attached code may change between now and final adoption as we refine existing illustrations or search for new ones. In addition, some of the wording may change in response to comments from Council or our attorney, so don't worry too much about that level of detail as you read through the code. A list of the Commission's comments and the status of changes made is included with this report.

When reviewing the proposed code, you may want to keep the following questions in mind:

- (1) Are the regulations understandable?
- (2) Does the code meet the goals of the comprehensive plan?
- (3) Does the code meet the goals of the City Council?

For your reference, a description of the Employment Center as stated in the comprehensive plan is provided below.

Excerpt:

"This district is designated for a major office development for corporate headquarters or multiple smaller offices. The area designated has significant challenges regarding access from the adjacent freeways (I-20 and US-287), making it an unlikely place for large-scale retail and—being located in Fort Worth ISD rather than the more desirable Kennedale ISD—an unlikely place for residential uses. However, the visibility from and proximity to two major freeways make it a good candidate for a major employer or business center to serve several employers. With proximity to a rail line, the area is also ideal for a park & ride station as future commuter rail

comes to Kennedale.

"Ideally, a mix of land uses—including office and retail—would occupy this site, with an emphasis on employment and possible transit park & ride supportive uses. Buildings should be Class-A professional office and possibly mixed-use buildings with street-level employee-supportive retail with offices above. Buildings should be four- to eight-stories and front streets. The adjacency of this area to the large Village Creek Greenbelt (and its planned protection and limited improvements, e.g. nature trails) would increase the attractiveness of the space for new development.

"Sample Development Types:

- Multi-tenant office
- Light industrial
- Retail
- Restaurant
- Multifamily
- Hotel"

\*\*\*\*\*

Last month's report:

This agenda item requests approval of an ordinance adopting a new zoning category, "Employment Center District". The request to rezone property under this zoning category will be considered under the next agenda item.

The Employment Center district code would, at this stage, be applicable only to properties in the part of Oak Crest between Kennedale Parkway and High Ridge Rd. Additional standards for other parts of Oak Crest will be added to the code at a later time, after input from stakeholders. The code you are considering under this agenda item is the biggest step forward the city has taken, on an official basis, toward incorporating the use of form-based codes as one of its zoning and land use tools. In addition, it is the first revision to the city code intended to implement the comprehensive plan. As you read through the code, you'll see that most of the focus is on the form of development. Uses are regulated, but the use table is less specific than in the rest of the zoning code. Instead, uses are groups in more general categories, with the idea that the form of development will offset negative aspects of development.

Regulations in the proposed code address building siting, building design, and site design, including regulations for parking, lighting, landscaping, and signs. The Employment Center code is intended to address a wide range of development issues so that new development is more predictable, for potential developers, for city staff and city leaders, and for members of the public. In addition, the code is intended to be easier to read and understand than a standard zoning code tends to be. The code includes a number of tables and will be well-illustrated. Please note that we are still development adequate illustrations, so the code sent out in board packets does not include all of the illustrations. A revised code with illustrations will be provided during or before your meeting.

**IV. Notification:**

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

Approve

**VIII. Alternative Actions:**

**IX. Attachments:**

|    |                               |                                                                           |
|----|-------------------------------|---------------------------------------------------------------------------|
| 1. | Status of changes to code     | Employment Center code changes.docx                                       |
| 2. | Employment Center code        | PZ revised Employment Center Code, Corridor Commercial Phase 1.doc        |
| 3. | PZ 13-05 ordinance            | PZ 13-05 ordinance adopting Employment Center code.docx                   |
| 4. | Appendix B (plant list), p. 1 | Recommended Native Plants - Texas-North Central, Wildflower Center p1.pdf |
| 5. | Appendix B (plant list), p. 2 | Recommended Native Plants - Texas-North Central, Wildflower Center p2.pdf |
| 6. | Appendix B (plant list), p. 3 | Texas Plant list (Tarrant Co), TPWD.pdf                                   |

## List of comments from the Commission

Status of changes is shown in red.

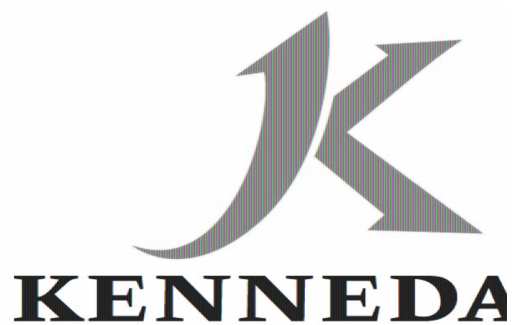
- Add legal description of boundaries of the district and subdistrict – **will be resolved in adopting ordinance when property is rezoned**
- Tighten governance and administration, especially minor modifications section (making it less vague and consistent with current variance and appeals process). Add a flow chart showing the process – **modified administration sections, added flow chart**
- Beef up purpose and intent language for the overall employment center and the specific subdistricts – **amended purpose and administration**
- Relate standards for frontages and other site design by using street type designations. Add street designations to the regulating plan also (Link Street would be an avenue, High Ridge Road a General Street, and Kennedale Pkwy a boulevard or something similar to this.) – **added description of street types, amended standards to be regulated by street type rather than specific street names**
- Show private development frontage and setback in the street cross section diagrams – **in progress**
- Show illustration and definition of frontage requirements (based on % of lot occupied by a building at the build to zone) – **illustrations added**
- Building materials – specify prohibited materials (vinyl, corrugated metal, EIFS below 7', board and batten, hardi plank on ground floor of non-res buildings) – **added materials regulations**
- Street screen – specify either vegetative or combination fence only – **amended screening regulations**
- Along Kennedale Pkwy – specify 54' min setback to get at least one row of parking and a consistent "slip lane" – improve illustration of the same and show 2 adjoining lots with continuity of facades and sidewalks to scale. – **improved illustration**
- Dumpster screening – not vegetative and require a gate – **amended dumpster screening requirement**
- If possible, move technical standards such as irrigation and rainwater harvesting to an appendix and add reference in the ordinance – **moved to appendix**
- Sign ordinance administration should be change to Development services director -- **amended**
- Signs- pole signs – limited to no more than 2 in the commercial corridor only. Location along High Ridge Road within 500' of I-20 frontage road ROW -- **amended**
- Monument sign – add illustration; limited to single tenant -- **amended**
- Monument sign on EDC easement/ppty – limit to one multi-tenant sign (15' max. height, and 150 sq.ft. total max. area) and one district identity sign (27' max. height and 135 sq.ft. per sign face max area) -- **amended**
- Create section for master sign plans with P&Z approval – **added unified sign agreement/master sign plan language**
- Remove the reserved sections since they became too confusing. -- **removed**
- Add note saying with side setbacks, must be requirements for fire separations, adhere to fire codes. – **added note about adhering to fire code**
- Add illustrations showing all the requirements together, setbacks, sidewalk widths, tree belt width, etc. – **see Figure 10**

# Employment Center District Code

City of Kennedale

Adopted [month] 2013

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# EMPLOYMENT CENTER CODE

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EXHIBITS

|           |                                               |
|-----------|-----------------------------------------------|
| Exhibit A | Regulation Plan and Description of Boundaries |
| Exhibit B | TBD                                           |

APPENDICES

- Appendix A. Definitions
- Appendix B. Native Plants
- Appendix C. Irrigation
- Appendix D. Photo & Illustration Credits

## SECTION 1. PURPOSE & INTENT

---

This Code sets forth regulations and standards for the Employment Center Zoning district. The Employment Center is a redevelopment district; most of the properties have previously been developed, and many of these properties are now vacant lots or buildings awaiting reuse. The Employment Center is envisioned as a series of sub-districts, each implementing a specific redevelopment vision based on the context of the site. Standards for the entire Employment Center will be developed in phases, with this first phase addressing the part of the district with the most visibility: properties located along Kennedale Parkway and along High Ridge Road.

The 2012 Comprehensive Land Use Plan envisioned a conceptual master plan as an Employment Center with a vibrant mix of retail, office (corporate and small), lodging, and residential uses for this important gateway into the City. Ideally, a mix of land uses—including office and retail—will eventually occupy this district, with an emphasis on employment and possible transit park & ride supportive uses. Development on the interior of the Employment Center should be designed to encourage and accommodate pedestrians. While it is understood that development on the exterior of the district will need to contend with a more auto-oriented reality, pedestrian safety, access, and comfort should not be ignored.

The development standards in this District have four main goals.

- Move toward development patterns that are closer to the vision of the comprehensive plan while taking advantage of frontages along major regional corridors such as Kennedale Parkway and Interstate-20;
- Serve as a transition between development along the Parkway and development in the interior of the Employment Center district, which will be more accommodating to pedestrians and a mix of uses, along with the potential for higher intensity development;
- Ensure new development and improvements to existing development support the City's vision of the Employment Center as a gateway to Kennedale; and
- Provide a high level of predictability, both for the development community and the public.

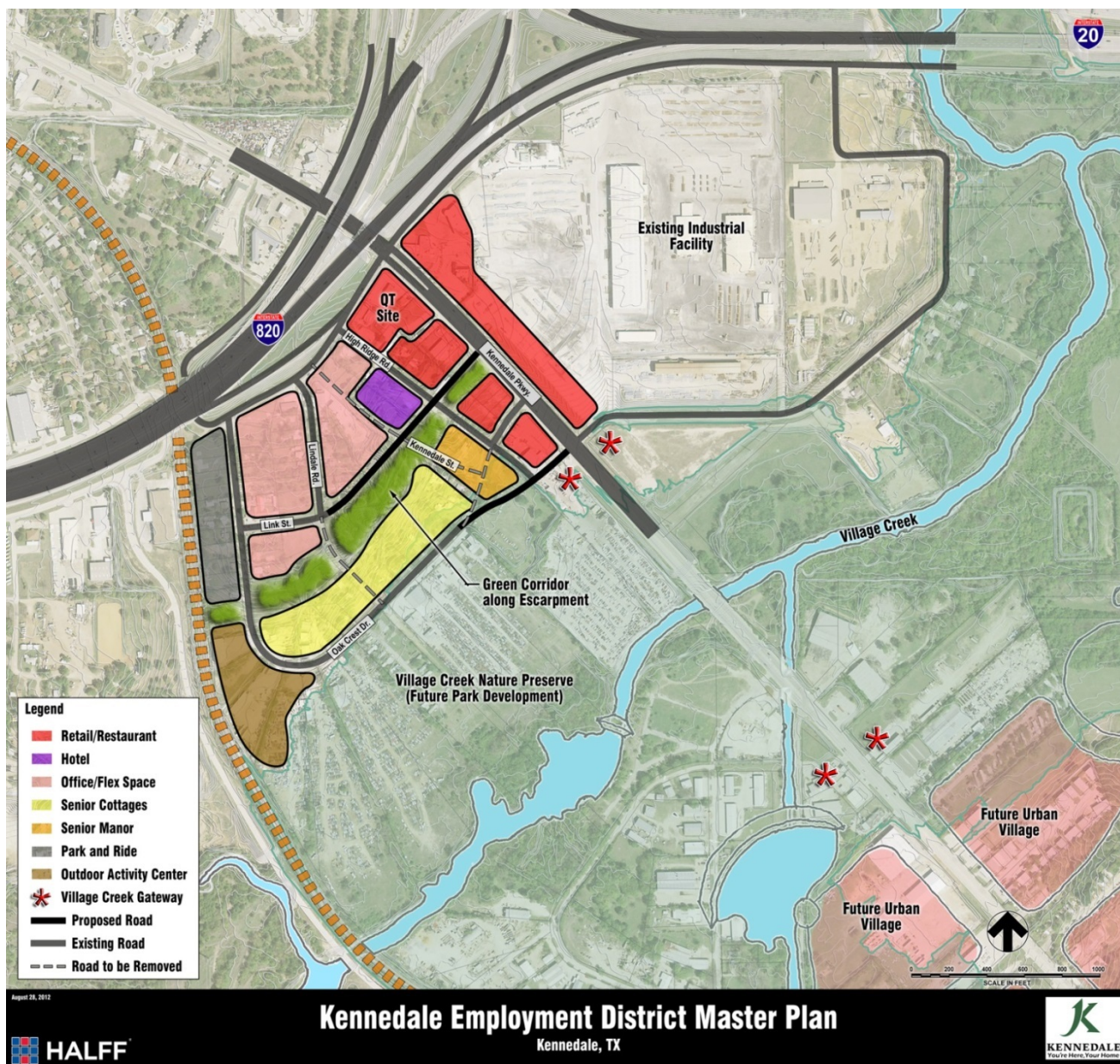


FIGURE 1. EMPLOYMENT CENTER MASTER PLAN

## SECTION 2. REGULATING PLAN

The Employment Center character district consists of five districts: Corridor Commercial; Transition Zone; Flex Zone; Neighborhood Zone; and Green Corridor. Where not controlled by the Employment Center Code, the Employment Center shall be governed by the Kennedale Code of Ordinances to the extent the Code of Ordinances is not in conflict with the intent or text of the Employment Center Code.

Employment Center Districts

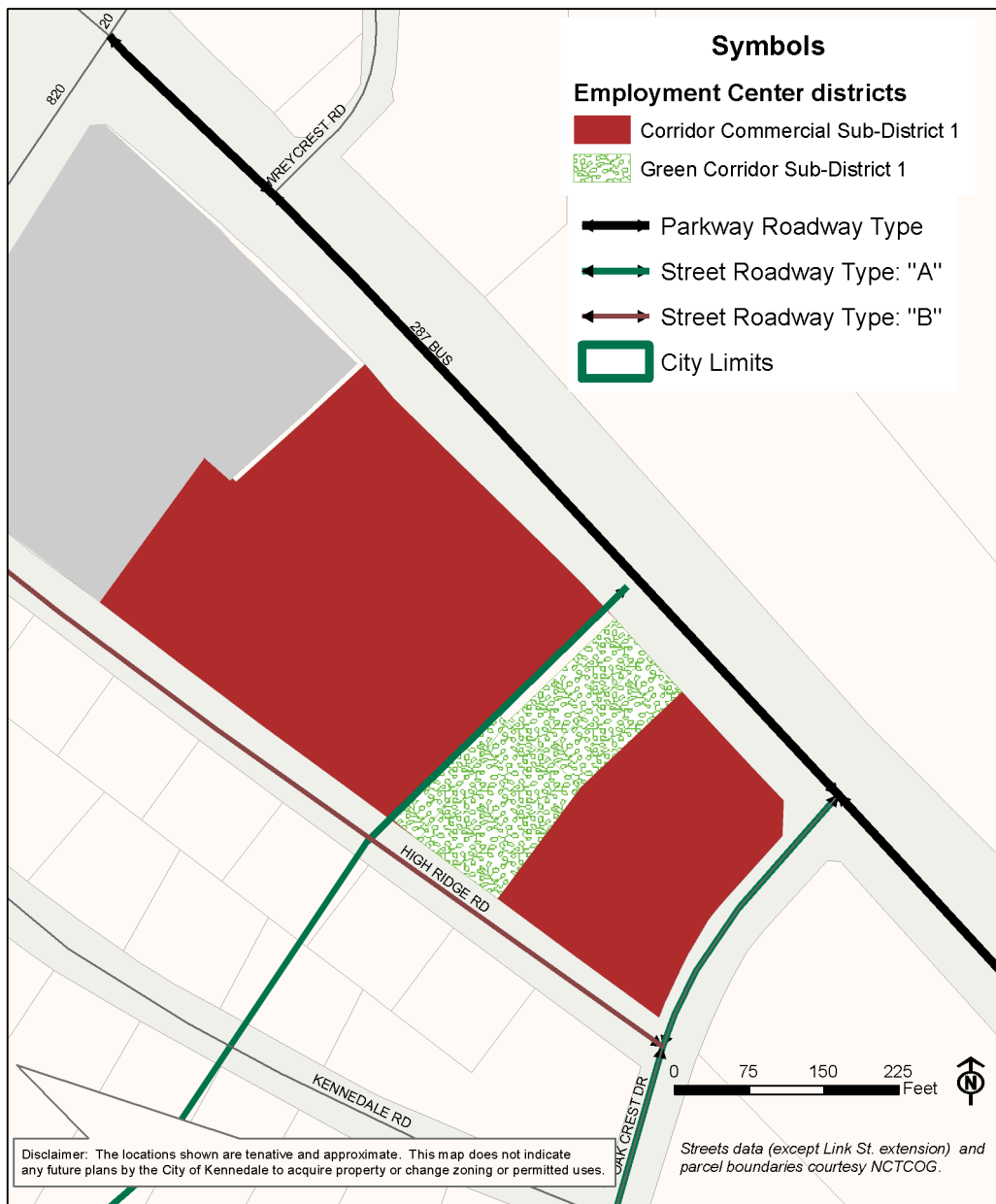


FIGURE 2. REGULATING PLAN BOUNDARIES

### 2.1 CORRIDOR COMMERCIAL

The purpose of the Corridor Commercial district is to encourage commercial development consistent with the vision for this important gateway into Kennedale, using a hybrid code context that merges the predictability provided through a form-based code with the land use control provided through more traditional zoning tools. This zone creates a unified streetscape and landscape context for an area that is both a major gateway to the city and a major suburban thoroughfare. The district consists of two sub-districts: Corridor Commercial Sub-District 1, located on the south/west side of Kennedale Parkway (shown in the illustration above), and a second sub-district located on the north/east side of Kennedale Parkway. **This Code is intended to set forth regulations for Corridor Commercial Sub-District 1 and Green Corridor Sub-District 1 (described below) only.**

## **2.2 GREEN CORRIDOR**

The Green Corridor district provides a green belt to buffer land located on either side of an escarpment running through the Employment Center and provides a transition between the residential uses of the Neighborhood district and the more commercial uses to be located north of the Green Corridor. The Green Corridor has two sub-districts: Green Corridor Sub-District 1 bisects the Commercial Corridor Sub-District 1; Green Corridor Sub-district 2 runs between the Transition and Flex districts and the Neighborhood district. **This Code is intended to set forth regulations for Corridor Commercial Sub-District 1 (described above) and Green Corridor Sub-District 1 only.**

## **2.3 OTHER SUB-DISTRICTS**

Additional sub-districts will be established as this Code is updated in the future. The sub-districts will be drawn from the Employment Center Master Plan and will create a flex zone, a transition zone, and a neighborhood zone, as well as an additional corridor commercial district. The Flex Zone will provide for office uses, light manufacturing or small-scale distribution, live/work units, and light commercial. The Transition Zone will provide a buffer between the more auto-centric development patterns of the Corridor Commercial zone and the adjacent parts of Oak Crest that will likely redevelop over time into a more urban character. The Neighborhood Zone is intended for residential development for seniors; residences may take the form of single-family residential or small, context-sensitive multi-family residential. It is intended that all of the properties within the Employment Center will eventually be regulated by this Code, after the Code has been updated to include additional standards fitting the other sub-districts and maintaining the desired character of the district.

## 2.4 ROADWAY CONTEXT

The Employment Center is bounded by Kennedale Pkwy to the east, the I-20 frontage road to the north, a rail line to the west, and Village Creek to the south. The area is therefore not only the major gateway to Kennedale, but it is also disconnected from the rest of the city. New land development tools adopted for the Employment Center must be realistic about what kind of development can be expected but should also encourage or, at times, require building, site, and infrastructure design standards that help connect the neighborhood to other areas. And given that this area is physically separated from the rest of the city, and this separation can make residents and businesses more reliant on each other for success, intra-neighborhood connections are also important.

Connections can be enhanced through a well-designed transportation system. The comprehensive plan's Future Transportation Plan describes the kind of transportation options (automobile-based and pedestrian) that should be established for the Employment Center and notes that roadways should be designed using a Complete Streets approach. Complete streets are designed with a goal of balancing the safety and convenience of everyone using the road. Roadway design varies by location, topography, types of users, and a variety of other factors that may change from site to site. For example, areas intended to have heavy foot traffic should have a different roadway design than an interstate highway would have.

The Future Transportation Plan indicates that Kennedale Pkwy should be designed as a Parkway or Multiway Parkway roadway type. The Parkway type has two lanes of traffic in each direction separated by a 16-18-foot wide median and with sidewalks a minimum of five (5) feet in width. The Multiway Parkway type also has two travel lanes in each direction and has a 12-18-foot wide median, with sidewalks a minimum of 5 feet in width. The Multiway Parkway can also be designed with an access/slip lane. This Code includes a 6 foot minimum sidewalk width and sets a minimum front setback of twenty (20) feet, which falls within the 18-25 foot range for the Parkway roadway type; it also sets forth streetscape standards that will establish a quasi-slip lane along Kennedale Pkwy.

The interior roadways in the Employment Center are classified as Streets. Streets typically have two travel lanes and no median. The Employment Center has two Street roadway types: "A" Streets and "B" Streets. Sidewalks for Streets should be 5-8 feet in width, and travel lanes should accommodate bicycle traffic safely and comfortably. "A" Streets are considered primary thoroughfares on the interior of the district. These streets shall have higher standards for pedestrian-oriented design and access, ensuring that the relationship between buildings and the street and between the pedestrian and auto-oriented realms enforce the desired character for the district. "B" Streets are minor streets within the district. While design is less important for these streets, it still plays an important role in establishing community character and ease of access and connectivity.

## SECTION 3. ADMINISTRATION

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### 3.1 Authority

The code shall be administered by: the Kennedale City Council (“Council”); the Planning & Zoning Commission (“Commission”); the Zoning Administrator (“Administrator”); the Director of Planning (“Planning Director”); Director of Development Services (“Development Director”); the Director of Public Works (“Public Works Director”); the Permits & Planning Department (“Department”); and other City bodies and officials as identified in this Development Code.

### 3.2 Responsibility for Administration

This Employment Center District Code shall be administered by the Zoning Administrator (“Administrator”) and the other decision-making authorities as identified in this Code and the zoning ordinance. Administration of this Code shall follow the process established in Section 3.11 of this Code and Section 17-403 of the Kennedale City Code.

### 3.3 Interpretation and appeals

Interpretation and appeals of this Code shall follow the process established in Section 17-405 of the Kennedale City Code.

### 3.4 City Council duties.

The City Council shall consider and adopt, modify, or reject proposed amendments to this article or of its repeal after recommendation from the Planning & Zoning Commission.

### 3.5 Applicability.

This Code applies to all development, subdivisions, and land uses within the Regulating Plan boundaries, as shown in Figure 2 and more particularly described in Exhibit A. Where not controlled by the Employment Center code, the Employment Center shall be governed by the Kennedale Code of Ordinances to the extent the provisions in the Code of Ordinances are not in conflict with the intent or text of the Employment Center code. Signs specifically prohibited in the zoning ordinance or by City Code are prohibited in the Employment Center District unless specifically stated otherwise herein.

All private and public development and redevelopment projects are subject to review by the Permits & Planning Department for compliance with this Code, as defined below.

| <b>Table 3.1. Review Authority</b>                                                                                                       |                                                           |                                                                        |                                            |
|------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|------------------------------------------------------------------------|--------------------------------------------|
| <b>Type of Project</b>                                                                                                                   | <b>Zoning Administrator or City Staff Review Required</b> | <b>Planning &amp; Zoning Commission / City Council Review Required</b> | <b>Board of Adjustment Review Required</b> |
| New construction meeting the standards set forth in this Code                                                                            | √                                                         |                                                                        |                                            |
| Minor Modifications (see Section 3.11.B)                                                                                                 | √                                                         |                                                                        |                                            |
| Major Modifications (see Section 3.11.C)                                                                                                 |                                                           | √                                                                      |                                            |
| Variance Request (other than Minor Modifications)                                                                                        |                                                           |                                                                        | √                                          |
| Expand, renovate, or repair an existing building meeting the standards of this Code                                                      | √                                                         |                                                                        |                                            |
| Expand an existing, non-conforming building, not to exceed 25% of the existing area of the land being occupied by the non-conforming use |                                                           |                                                                        | √                                          |
| Renovate an existing, non-conforming building without making structural alterations                                                      | √                                                         |                                                                        |                                            |
| Renovate or repair an existing, non-conforming building, with renovations or repairs to include structural alterations                   |                                                           |                                                                        | √                                          |
| Repair an existing, non-conforming building without making structural alterations                                                        | √                                                         |                                                                        |                                            |
| Appeal a decision made by the Zoning Administrator                                                                                       |                                                           |                                                                        | √                                          |
| Request an amendment to this Code                                                                                                        |                                                           | √                                                                      |                                            |

### 3.6 Building permits.

No building permit shall be issued by the City of Kennedale for any new structure or addition unless the structure conforms to the provisions of this Code. No certificate of occupancy shall be issued for new development unless the structure conforms to the provisions of this Code.

### **3.7 Shall, should, may.**

Provisions of this Code preceded by “shall” note regulations or standards that are required, “should” when recommended and encouraged, and “may” when optional.

### **3.8 Conflict with other city codes.**

Where provisions of this Code conflict with other City of Kennedale codes, ordinances, or regulations, the provisions of this Code shall prevail.

### **3.9 Conflict with illustrations and text.**

Where provisions of this Code provided through illustration conflict with provisions provided in text, the provisions provided in text shall prevail. Photographs used to illustrate text are for illustration purposes only unless otherwise noted.

### **3.10 Rules for interpretations of boundaries.**

Where uncertainty exists as to the boundaries of zoning districts as shown on the official zoning map, boundaries shall be determined in accordance with Section 17-404(c) of the Kennedale City Code.

### **3.11 Development review process.**

**A. Administrative Review.** Projects that comply with all standards of this Code shall be processed administratively by the Department. Projects that require interpretation shall be forwarded to the Administrator for review, and the Administrator may direct the Planning Director to forward such projects to the Planning & Zoning Commission and City Council for interpretation. See Figure 3 (flow chart) for more information on the process for development review under this Code.

*The Zoning Administrator shall be responsible for the following:*

- i) Approving minor modifications to the Regulating Plan or minor modifications from the standards set by this Code.
- ii) Forwarding to the Planning and Zoning Commission projects requiring or requesting major modifications.

*The Planning Director shall be responsible for the following:*

- i) Reviewing site plan applications for compliance with this Code.

- ii) Approving site plan applications that are in compliance with this Code and all applicable City regulations and ordinances.
- iii) Approving modifications or revisions to previously approved site plans that are in compliance with this Code and all applicable City regulations and ordinances.
- iv) Coordinating any necessary review of projects with other departments within the City of Kennedale.
- v) Forwarding to the zoning administrator projects requiring interpretation.
- vi) Forwarding to the Board of Adjustment requests for variances.

*The Development Services Director shall be responsible for the following:*

- i) Approving building permits for projects that are in compliance with this Code.

**B. Minor Modifications.** The Zoning Administrator is authorized to approve minor modifications to this Code. Permitted minor modifications are as follows:

- alternative masonry materials when new materials have been developed and are not yet listed in the Code but clearly meet the intent of the Code;
- change in landscaping plants to similar plants that meet the intent of the Code and achieve the same effect;
- minor changes in the site plan that do not significantly alter building orientation, vehicle or pedestrian traffic flow, location of parking areas, or building placement, or does not allow increase in building height.
- Changes to a site plan (including landscaping and lighting plans) or building plan that require a modification of any numerical standard in this Code by no more than ten percent (10%) (increase or decrease) with the exception of additional building stories.

**C. Major Modifications.** The City Council is authorized to approve major modifications to this Code. Major modifications are changes that are beyond minor modifications. Major modifications are considered an amendment to this Code and as such are subject to the procedures, notifications, public hearings, and other standards for zoning amendments as set forth in the Kennedale City Code Section 17-429.

**D. Variances.** The Board of Adjustment is authorized to approve variances beyond Minor Modifications as permitted by City Code section 17-430.

**E. Required Documents.** In general, the following information is required, as applicable:

- i) Site Plans (which may include, but are not limited to, landscaping plans, lighting plans, grading and drainage plans, and utility plans)

- ii) Landscape Plan
- iii) Material Specifications
- iv) Plans and Specifications for Proposed Signs
- v) Description of Proposed Scope of Work
- vi) Photographs of Site and Existing Conditions

City staff may ask for additional documentation to confirm compliance with this Code.

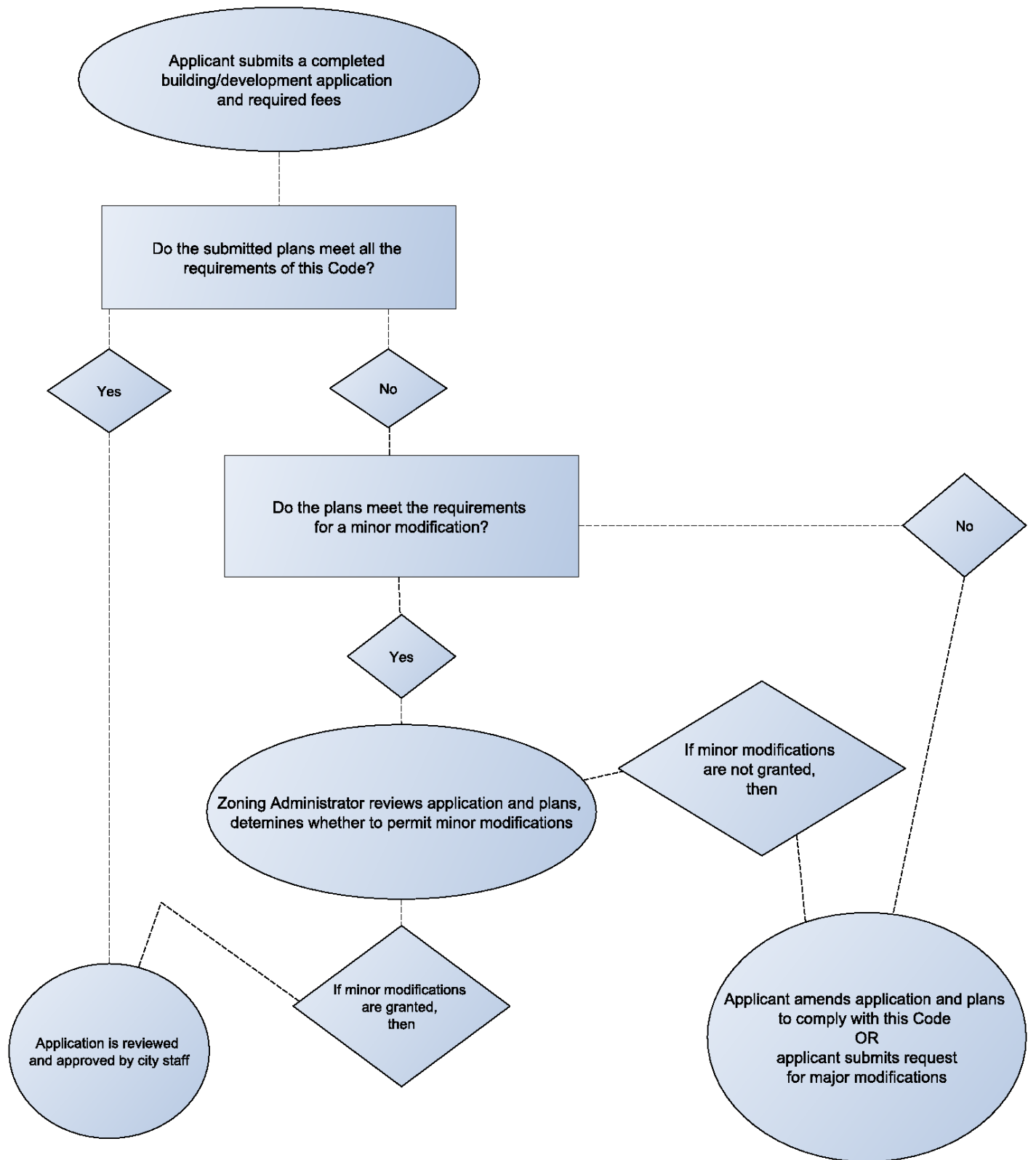


Figure 3. Approval process.

## SECTION 4. BUILDING PLACEMENT & FRONTAGE

### 4.1 REQUIRED SETBACKS FOR CORRIDOR COMMERCIAL SUB-DISTRICT 1

Properties regulated by this Code shall adhere to the setback requirements set forth below.

**Table 4..1** *Properties oriented toward or having primary access from Parkway roadway types*

| Primary structures                                                                                                           | Minimum setback (in feet)                        | Maximum setback (in feet) |
|------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|---------------------------|
| Front (from Kennedale Pkwy) <sup>1</sup>                                                                                     | 20 (see Figure 10)                               | 60 (see Figure 10)        |
| Side (from side property line)                                                                                               | 0 <sup>2</sup>                                   | --                        |
| Rear (from rear property line)                                                                                               | 8                                                | --                        |
| Accessory structures                                                                                                         | Minimum setback (in feet) from primary structure | Maximum setback (in feet) |
| Front (setback from primary structure)                                                                                       | 8                                                | --                        |
| Side (from side property line)                                                                                               | 0 <sup>2</sup>                                   | --                        |
| Rear (from rear property line)                                                                                               | 8                                                | --                        |
| 1 Front setback for a primary structure is the distance between the front façade of a structure and the street right-of-way. |                                                  |                           |
| 2 Side setback is 0', subject to fire code.                                                                                  |                                                  |                           |

**Table 4.2.** *Properties oriented toward or having primary access from "A" type streets*

| Primary structures                                                                                                           | Minimum setback (in feet) | Maximum setback (in feet) |
|------------------------------------------------------------------------------------------------------------------------------|---------------------------|---------------------------|
| Front (from Link St.)                                                                                                        | 20                        | 25                        |
| Side (from side property line)                                                                                               | 0                         | --                        |
| Rear (from rear property line)                                                                                               | 8                         | --                        |
| Accessory structures                                                                                                         | Minimum setback (in feet) | Maximum setback (in feet) |
| Front (setback from primary structure)                                                                                       | 8                         | --                        |
| Side (from side property line)                                                                                               | 0                         | --                        |
| Rear (from rear property line)                                                                                               | 8                         | --                        |
| 1 Front setback for a primary structure is the distance between the front façade of a structure and the street right-of-way. |                           |                           |
| 2 Side setback is 0', subject to fire code.                                                                                  |                           |                           |

**Table 4.3. Properties oriented toward or having primary access from “B” Street roadway types**

| <b>Primary structures</b>              | <b>Minimum setback (in feet)</b> | <b>Maximum setback (in feet)</b> |
|----------------------------------------|----------------------------------|----------------------------------|
| Front (from High Ridge Rd)             | 20                               | 25                               |
| Side (from side property line)         | 0                                | --                               |
| Rear (from rear property line)         | 8                                | --                               |
| <b>Accessory structures</b>            | <b>Minimum setback (in feet)</b> | <b>Maximum setback (in feet)</b> |
| Front (setback from primary structure) | 8                                | --                               |
| Side (from side property line)         | 0                                | --                               |
| Rear (from rear property line)         | 8                                | --                               |

1 Front setback for a primary structure is the distance between a structure and the street right-of-way.  
 2 Side setback is 0', subject to fire code.

**Table 4.4. Properties oriented toward or having primary access from the I-20 frontage road**

| <b>Primary structures</b>              | <b>Minimum setback (in feet)</b> | <b>Maximum setback (in feet)</b> |
|----------------------------------------|----------------------------------|----------------------------------|
| Front (from I-20 frontage road)        | 20                               | 75                               |
| Side                                   | 0                                | --                               |
| Rear                                   | 8                                | --                               |
| <b>Accessory structures</b>            | <b>Minimum setback (in feet)</b> | <b>Maximum setback (in feet)</b> |
| Front (setback from primary structure) | 8                                | --                               |
| Side (from side property line)         | 0                                | --                               |
| Rear (from rear property line)         | 8                                | --                               |

1 Front setback for a primary structure is the distance between a structure and the street right-of-way.  
 2 Side setback is 0', subject to fire code.-

The terms “front setback,” “side setback,” and “rear setback” have the same meaning as “setback,” “front yard,” “side yard,” and “rear yard” as defined in Kennedale City Code Section 17-431.

## 4.2 GREEN CORRIDOR SUB-DISTRICT 1

Structures are prohibited within the Green Corridor. Retaining walls are permitted when required for safety or stabilization purposes.

### 4.3 FRONTAGE REQUIREMENTS

Building frontage covering at least fifty percent (50%) of the lot shall be required at the front build-to zone (see Figure 5). The “Build-to zone” is the area between the minimum and maximum setbacks from the property line. The principal building façade line shall be located within this area (see Figures 4). The Build-to Zone for properties along Kennedale Parkway in the Corridor Commercial Sub-District 1, for example, is 20-55 feet from the street right-of-way.

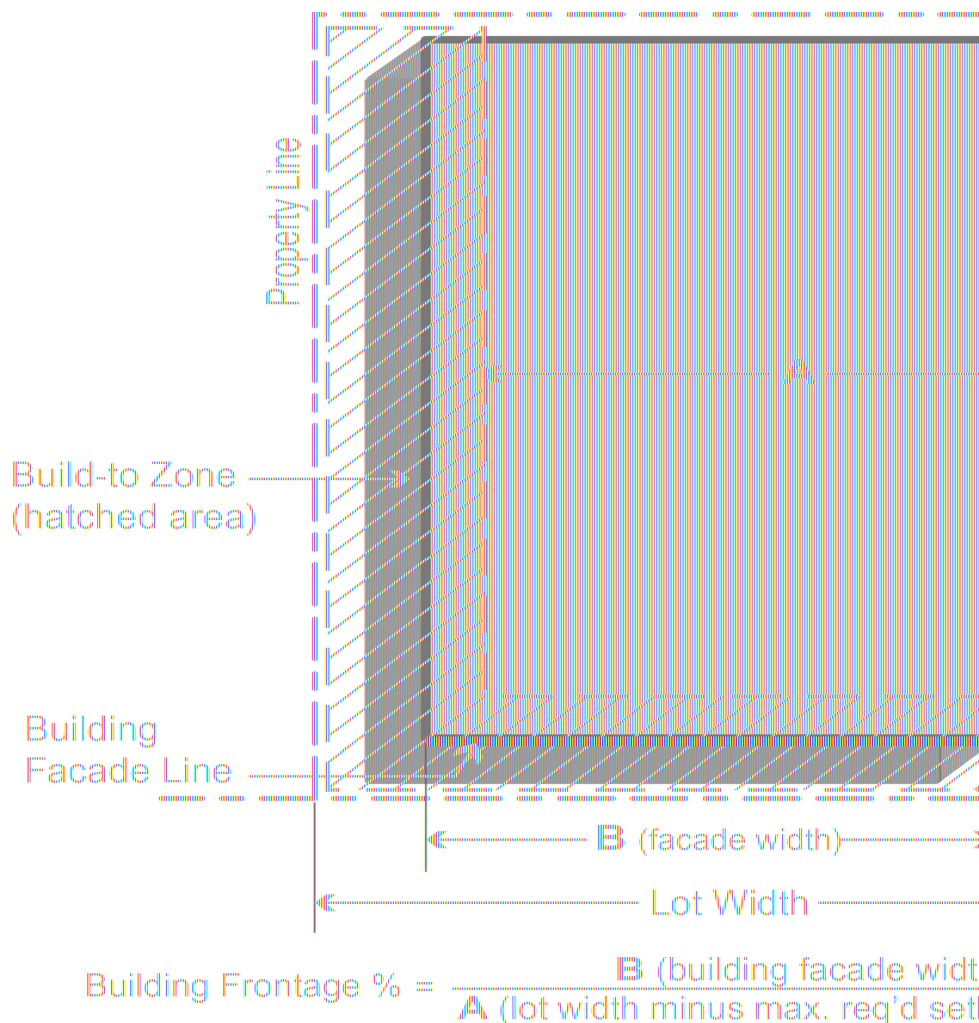


Figure 4. Percent of building façade required to be constructed within the build-to zone.

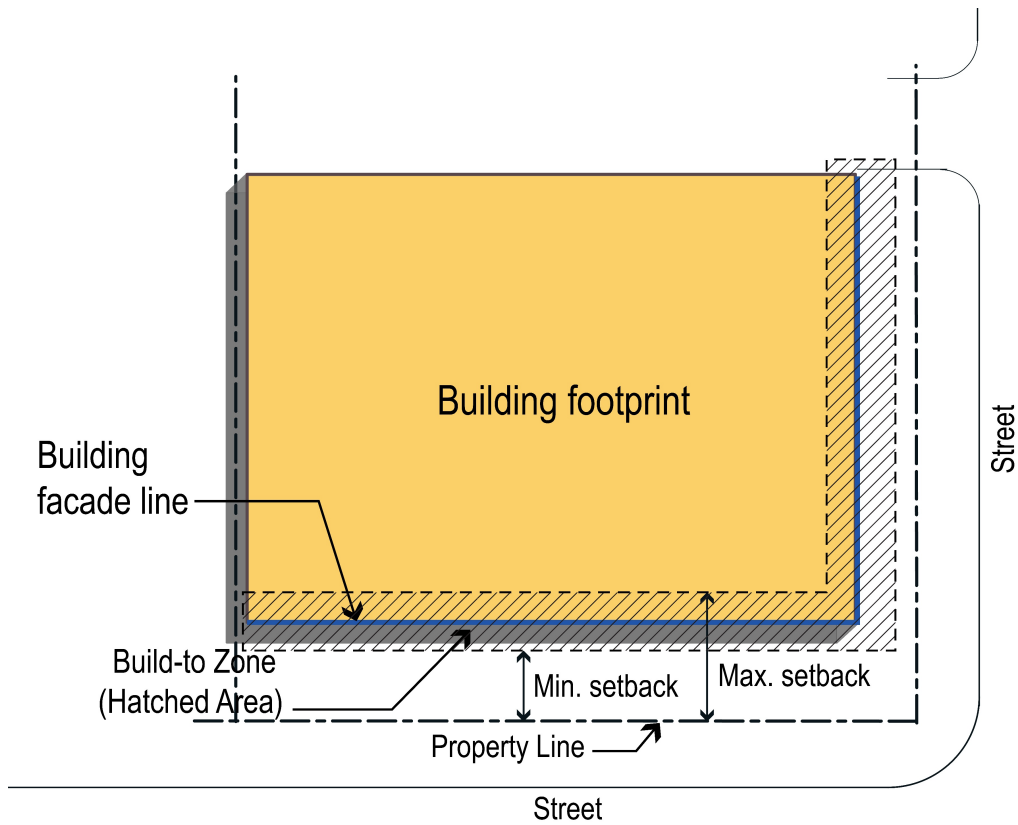


Figure 5. Illustration of build-to zone.

#### 4.3.1 Corridor Commercial Sub-District 1

A. *Properties with primary access from or primary orientation toward Link St*

For rectangular buildings, the longer length of the building shall be oriented toward Link St. Additional orientation standards are controlled by Section 5.1 “Building Orientation” in this document.

B. *All other properties*

Building orientation is controlled by Section 5.1 “Building Orientation” in this document.

## 4.4 BUILDING HEIGHT

#### 4.4.1 Corridor Commercial Sub-District 1

A. *Maximum height.*

Primary structures shall not exceed five (5) stories in height.

B. *Finish floor height.*

Buildings shall have a minimum floor-to-floor height of twelve (12) feet on ground floors and nine (9)

feet on upper floors. The ground floor finish level shall be a maximum of twelve (12) inches above the sidewalk.

C. *Accessory structure size.*

Accessory structures shall clearly be secondary to the primary structure(s) in size and use.

**4.4.2 Green Corridor Sub-District 1**

Structures are prohibited with Green Corridor Sub-District 1.

## SECTION 5. BUILDING DESIGN STANDARDS

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### 5.1 BUILDING ORIENTATION

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The orientation of buildings has a large impact on the character of a district. In the Employment Center, it is important to recognize the auto-oriented nature of this district while also accommodating visitors who come to the Employment Center by bike or on foot. The regulations in this sub-section are intended to ensure building orientation provides for a variety of access options and supports the district character.

#### A. Corridor Commercial Sub-District 1

1. *Pedestrian-oriented entrance required.* For each primary building whose primary entrance is oriented toward an off-street parking area, a pedestrian-oriented entrance shall be provided on at least one street-facing side of the building (at least one side of the building not oriented toward the off-street parking area). The entrance shall provide a connection to the closest street or sidewalk (or a farther street/sidewalk if another street or sidewalk is more pedestrian-oriented).
2. *Additional regulations for properties on Link Street.* For properties with primary access from Link St or where the primary building is oriented toward Link St, the primary building shall be oriented so that the primary entrance is along Link St. The entrance shall provide a connection to the closest street or sidewalk. A second entrance shall be provided to the building from the side facing the off-street parking area.
3. *Location of uses within buildings.* Buildings shall foster a strong connection to the street by placing internal uses that require window openings and pedestrian entrances (such as offices) in the front of the building. Other internal uses (such as warehousing and storage) shall be placed in the back of the building.

### 5.2 FENESTRATION/GLAZING

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The use and design of windows on a structure can have a significant impact on the character of a district, including appeal to pedestrians and to potential visitors driving by in cars, feeling of safety, and approachability of a particular building. This section regulates fenestration in order to provide the desired character for the Employment Center.

### 5.2.1 Corridor Commercial Sub-District 1

**A.** *Required glazing for primary structures with primary entrance on or oriented toward Parkways or "A" Street roadways*

*(a) Structures accessible/visible to the public on four (4) or more sides.* Primary structures shall have a minimum twenty percent (20%) glazing and a maximum of sixty percent (60%) glazing on at least two (2) sides and a minimum ten percent (10%) glazing (60% maximum) on at least one (1) other side.

*(b) Structures accessible/visible to the public on three (3) or fewer sides.* Primary structures shall have a minimum twenty percent (20%) glazing and a maximum of 60% glazing on at least one (1) side and a minimum ten percent (10%) glazing (60% maximum) on at least one (1) other side.

**B.** *Required Glazing for primary structures with primary entrance on or oriented toward "B" Street roadways*

Primary structures must have a minimum of twenty percent (20%) and a maximum of sixty percent (60%) glazing on the front (street-facing) façade and a minimum of ten percent (10%) and a maximum of sixty percent (60%) glazing on at least one other side.

**C.** *Blank walls not permitted.* Blank walls longer than sixty (60) feet are prohibited. For purposes of this section, "blank wall" means any building wall that is a portion of a building wall or façade without a window or door or similar architectural feature and is over four feet in height from ground level and longer than 60 feet, as measured horizontally, without having a window, door, building modulation (as defined in Appendix A Definitions, below), or other similar architectural feature meant to lessen the apparent bulk or massing of a structure.

**D.** *Visible Transmittance.* Glazing on ground-floor facades shall have a visible transmittance of 0.6 or higher. Glazing cannot be mirrored or darkly tinted glass that obscures visibility. For this section, "visible transmittance ('vt') means the amount of light transmitted through a window. VT is expressed as a number between 0 and 1; the closer the number is to 1, the higher the potential for daylighting.

**E.** *Minimum height of glazing.*

Ground floor glazing shall have a maximum sill height of four (4) feet.

## 5.3 FAÇADE ARTICULATION

---

Articulation adds to the visual interest of a building and can make a building more appealing to pedestrians and other passers-by. This sub-section is intended to establish articulation standards reflecting the desired character of the Employment Center.

### 5.3.1 Corridor Commercial Sub-District 1

For all new structures (for which a building permit application is submitted to the City after the date the Employment Center code is adopted), primary building façades must be articulated every 40 feet, with a horizontal or vertical articulation of at least 24" (2 feet). New additions to existing buildings shall also be required to have articulation every 40 feet, with a horizontal or vertical articulation of at least 24" (2 feet).

*Examples of articulation.* Examples of acceptable articulation are as follows.

- (1.) Construction of building entrances, display windows, storefronts, balconies, columns, and arcades (obstructing of sidewalks or frontage zones is prohibited);
- (2.) Inclusion of awnings meeting the requirements of Section 7-Signs of this Code;
- (3.) Inclusion of a roof element projecting a minimum of five (5) feet from the building;
- (4.) Additional architectural elements may be used to meet this requirement. Elements not listed above require written approval from the Administrator.



Figure 6. Not permitted: No articulation along the façade

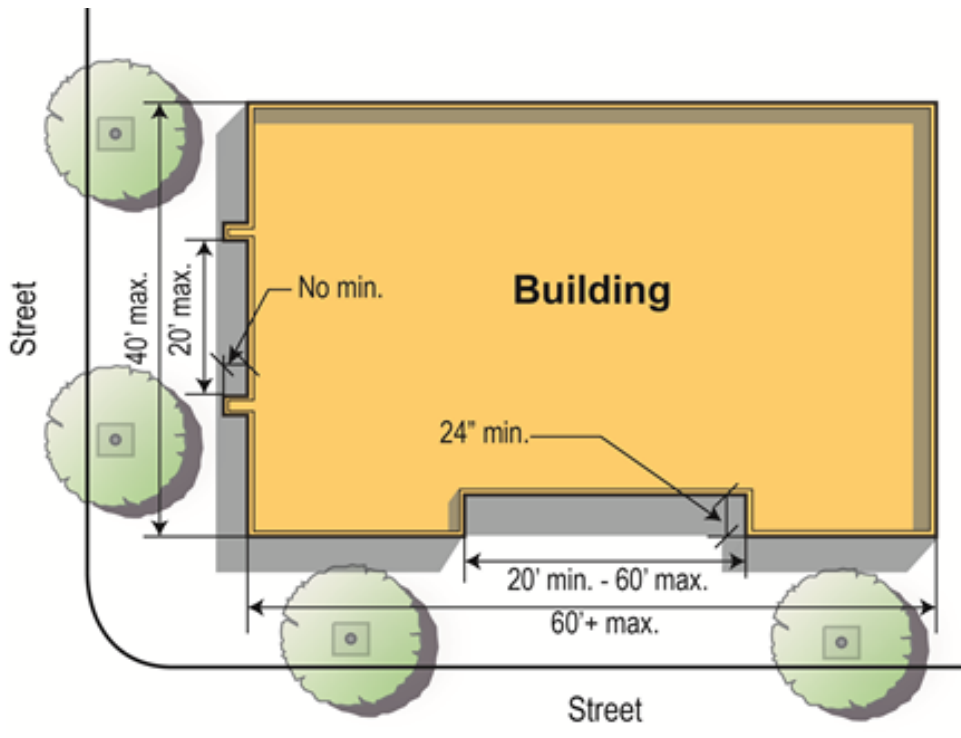


Figure 7. Illustration showing articulation along the building façade

## 5.4 BUILDING MATERIALS

### 5.4.1 Primary Structures

#### A Corridor Commercial Sub-District 1.

##### (1) Kennedale Parkway and “A” Streets

All new primary structures must be constructed of a minimum of 80% masonry, with a minimum 40% brick and the remaining 40% permitted to be other masonry materials. The primary color shall be similar in color and style to Acme brand Burgundy brick (see illustration), with contrasting color permitted for trim and/or cornice and other architectural details. Façades facing Kennedale Pkwy or “A” Streets shall be constructed of 100% masonry, with a minimum 50% Acme Burgundy type brick.

- a. The remaining twenty percent (20%) accent materials used may be determined by the builder/developer subject to the following:
  - i. Board and batten, vinyl siding, and corrugated metal shall not be used for the remaining 20%.
  - ii. Hardie-Plank™ (or equivalent) shall be permitted on upper floors of residential buildings or lodging uses only

EIFS shall only be permitted on facades seven (7) feet or more above the finished grade of the sidewalk along that façade.

(2) “B” Streets

All new primary structures must be constructed of a minimum of 80% masonry, with a minimum 40% brick and the remaining 40% permitted to be other masonry materials. The primary color shall be similar in color and style to Acme brand Burgundy brick (see illustration), with contrasting color permitted for trim and/or cornice and other architectural details.

- a. The remaining twenty percent (20%) accent materials used may be determined by the builder/developer subject to the following:
  - i. Board and batten, vinyl siding, and corrugated metal shall not be used for the remaining 20%.
  - ii. Hardie-Plank™ (or equivalent) shall be permitted on upper floors of residential buildings or lodging uses only.
  - iii. EIFS shall only be permitted on facades seven (7) feet or more above the finished grade of the sidewalk along that façade.

Figure 8. Acme Burgundy brick, as seen in  
TownCenter

## 5.4.2 Secondary Structures

A. *Corridor Commercial Sub-District 1.*

Secondary or accessory structures must complement the primary structure. Secondary/accessory buildings must be 80% masonry as defined in Section 17-405 of the Kennedale City Code.

## SECTION 6. SITE DESIGN STANDARDS

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### 6.1 Parking

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#### 6.1.1 Off-Street Parking Placement

##### A. *Corridor Commercial Sub-District 1*

###### (1.) *Properties oriented toward or with primary access from “A” Street roadways*

No off-street parking is permitted between the primary structure and the street (all parking must be behind or to the side of the primary structure). Off-street parking areas must be screened (see Parking Screens, below).

###### (2.) *Properties oriented toward or with primary access from Parkways or “B” Street roadways*

Off-street parking is permitted along the public street. Off-street parking must be setback from the right-of-way a minimum of six (6) feet and must be screened by masonry or vegetation (see Sub-Section 6.1.2).



Figure 9. Off-street parking area provided behind the primary structure (secondary building entrances shown)

#### 6.1.2 Screening of Off-Street Parking

##### A. *Corridor Commercial Sub-District 1.*

Off-street parking visible from a public street must be screened in accordance with the table below.

| Table 6.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                    |                                       |                                                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------|---------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| Location of Off-Street Parking                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Minimum Height of Screening (in feet) <sup>1</sup> | Maximum Height of Screening (in feet) | Permitted Screening Materials                                                                                                                   |
| Link Street                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 3                                                  | 4                                     | A combination of masonry and vegetation <sup>2, 3</sup> (maximum 50% of screening materials may be masonry)                                     |
| All other streets                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 3                                                  | 4                                     | Vegetation (evergreen) <sup>4</sup> or a combination of vegetation and masonry (maximum 50% of screening materials may be masonry) <sup>3</sup> |
| <p><sup>1</sup> If requirements for maintaining a sight triangle do not permit a minimum of three (3) feet, screening must be the maximum height allowed by the sight triangle.</p> <p><sup>2</sup> For this sub-section, “masonry” is defined per Section 17-405 of the Kennedale City Code.</p> <p><sup>3</sup> If masonry is used for screening, it must be of the same material as the primary building.</p> <p><sup>4</sup> Vegetated screening must be in compliance with Section 6.5.4 of this Code and, where applicable, Section 17-425 and Chapter 17, Article VIII of the Kennedale City Code (where not in conflict with this Code).</p> |                                                    |                                       |                                                                                                                                                 |

### 6.1.3 Off-Street Parking Amount

#### A. Corridor Commercial Sub-District 1.

(1) For each of the use types listed below, the parking requirement listed is the minimum amount required.

| Table 6.3                                 |                                        |
|-------------------------------------------|----------------------------------------|
| Use Type                                  | Minimum Number of Spaces Required      |
| All non-residential <i>except</i> lodging | 1 per 250 square feet of building area |
| Residential                               | 1 per unit                             |
| Lodging                                   | 1 per guest room                       |

(2) *Shared Parking.* Shared parking is permitted if a shared parking agreement has been signed and notarized by all users/parties who intend to share parking. The shared parking plan will be subject to review and approval of the Administrator, and the parking agreement must be filed with the Tarrant County Clerk. A reduction of up to 20% of the required parking may be permitted. Parking may be shared by different uses on a shared or adjacent site, but the parking facility must be located within six hundred (600) feet of the primary structure for each use. The Administrator is not required to approve a reduction in the required number of parking spaces.

(3) *Compact Car Parking.* Up to fifteen percent (15%) of the required parking may be designed and sized for compact vehicles.

#### **6.1.4 Bicycle Parking**

Parking for bicycles must be provided for every non-residential use.

- A. *Parking amount.* Bicycle parking shall be provided at a minimum amount of 5% of the number of spaces provided for car parking.
- B. *Design of bicycle parking spaces.* For each required bicycle parking space, a stationary object shall be provided to which a user can secure a bicycle with at least two points of contact with a 6-foot cable and lock. The stationary object shall be either a freestanding bicycle rack or a wall-mounted bracket. Freestanding bicycle racks shall be inverted “U,” post and ring, or some other form of bicycle rack providing at least two points of contact. Grid/fence-type racks and wave/ribbon-type bicycle racks are prohibited. Objects for securing bicycles must be dedicated for that purpose and may not be primarily for any other purpose (e.g., signage, traffic safety).
- C. *Location of bicycle parking.* The bicycle rack shall be located within 60 feet of the main entrance of the building it serves, and may be located between the street curb and the building, subject to the approval of the Development Services Director. Each bicycle parking area shall be separated from motor vehicle parking and maneuvering areas by a barrier, post, or bollard or by at least five (5) feet of open space.

#### **6.1.5 Landscaping for Off-Street Parking**

- A. *Corridor Commercial Sub-District 1.*

All parking lots and drive areas shall be designed and landscaped in accordance with the following provisions:

- (1.) Where off-street parking is permitted between the primary structure and a public road, all parking or drive areas shall be located a minimum of six (6) feet from right of way lines along public streets.
  - (2.) Off-street parking located between the primary structure and the property line or street pavement edge shall be screened.
  - (3.) Landscaped areas in a parking lot shall be in addition to all other landscape requirements of this Code and shall be provided in any parking lot of five (5) spaces or more in accordance with the following requirements.
  - (4.) One (1) tree shall be provided for each ten (10) parking spaces in all developments, however, no car parking space shall be located greater than seventy-five (75) feet from the center of a tree. Trees shall be a minimum of three (3) inch caliper measured one (1) foot from the ground and planted within a planting island with a minimum dimension of five feet in width. The tree-planting island shall be further planted with a ground cover, grass, or shrubs.
- B. Vehicle protection.* All required landscape areas, planters, walls, and/or fences adjacent to vehicle use areas shall be protected by wheel stops, curbs, or other physical barriers. In no instance shall a parking area be designed so as to permit the encroachment or overhang of a vehicle beyond the required setback line(s) set out above in this sub-section.

## 6.2 SCREENING

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### 6.2.1 Screening required between incompatible uses

A. Screening must be erected, placed, grown and maintained along the common boundary line of any commercial or industrial uses sharing a common boundary with an existing residential use before any commercial or industrial use is made of the property. This screening requirement shall be the responsibility of the owner of the commercial or industrial use. For the purposes of this section, “commercial or industrial use” means any use that is not primarily used for residential use. For example, a business with a caretaker living on site would not be considered a primarily residential use, nor would a hotel. However, a residence with an approved home occupation would be considered a primarily residential use for purposes of this Code, even though some business may be transacted at the home.

B. No screening wall or fence shall be constructed of materials not manufactured or designed for the primary purpose of wall or fence construction. Gates shall be steel and painted in color corresponding to the primary structure.

### **6.2.2 Screening for garbage, refuse and trash collection/storage areas**

- A. Garbage, refuse and trash collection/storage areas shall be screened by a masonry enclosure on three (3) sides. Screening walls shall be a minimum of one (1) foot in height above the materials being stored, and screening walls and fences shall not be greater than eight (8) feet in height. Materials being stored shall not be stored higher than one (1) foot below the screening provided.
- B. The fourth side shall be screened by a gate. The gate shall be made of wrought iron or of a combination of decorative wooden panels and wrought iron.
- C. The masonry used must be of the same material as the primary building.

### **6.2.3 Screening for loading docks**

Loading docks shall be screened according to Section 17-424 of the Kennedale City Code.

### **6.2.4 Screening for parking areas**

Screening of parking areas is controlled by Sub-section 6.2.2, “Screening of Off-Street Parking,” above.

## **6.3 STREETSCAPE STANDARDS**

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The sidewalk widths as specified in Kennedale’s Future Transportation Plan were established based on known best practices for pedestrian facilities, and they are the basis of sidewalk width requirements for this Code. The Future Transportation Plan states that Streets (the classification of roadways on the interior of the Employment Center) shall have a minimum sidewalk width of five (5) feet and a maximum sidewalk width of eight (8) feet. Sidewalks along Parkways or Multiway Parkways (the classifications applicable to Kennedale Pkwy) shall have a minimum sidewalk width of five (5) feet.

### **6.3.1 Kennedale Parkway frontage requirements**

The following standards shall apply to all development with frontage along Kennedale Parkway (see Figure 10).

- A. If surface parking is located between the building and the street right of way, a pedestrian walkway of at least six (6) feet clear width shall be located immediately adjacent to the building. In addition, canopy

trees shall be located within this walkway in tree planting strips (minimum 5'x5') at a rate of one (1) tree per thirty (30) linear feet of building frontage. Pedestrian scale lighting shall be added at a rate of one (1) per fifty (50) linear feet of building frontage.

- B. This walkway shall be clearly linked (through pavers or pavement markings and h/c ramps) to the public sidewalk within the right-of-way of Kennedale Parkway and to the walkway in front of any adjoining building.

### **6.3.2 Sidewalk requirements**

A. Sidewalks are to be installed by the developer or builder. Notwithstanding any written agreement between the City and any other person or entity, in no case is the City obligated to install sidewalks. Where it is not feasible to install sidewalks at the time of development, the developer or builder shall pay a fee in lieu of installation.

B. Sidewalks shall be installed according to the standards in the Kennedale City Code and the Public Works Design Manual. Notwithstanding the above, sidewalks may be installed using Low-Impact Development Standards if approved, in writing, by the Director of Public Works. Requests to use Low-Impact Development standards must be made in writing. The Director of Public Works shall grant approval to use Low-Impact Development standards only when the Director is satisfied the proposed standards will meet the same durability and safety standards as expected from sidewalk construction materials and construction practices required by Kennedale City Code and the Public Works Design Manual. The Director is not required to approve the use of Low-Impact Development standards.

C. Sidewalks shall be installed at the minimum widths and additional requirements shown in the table below.

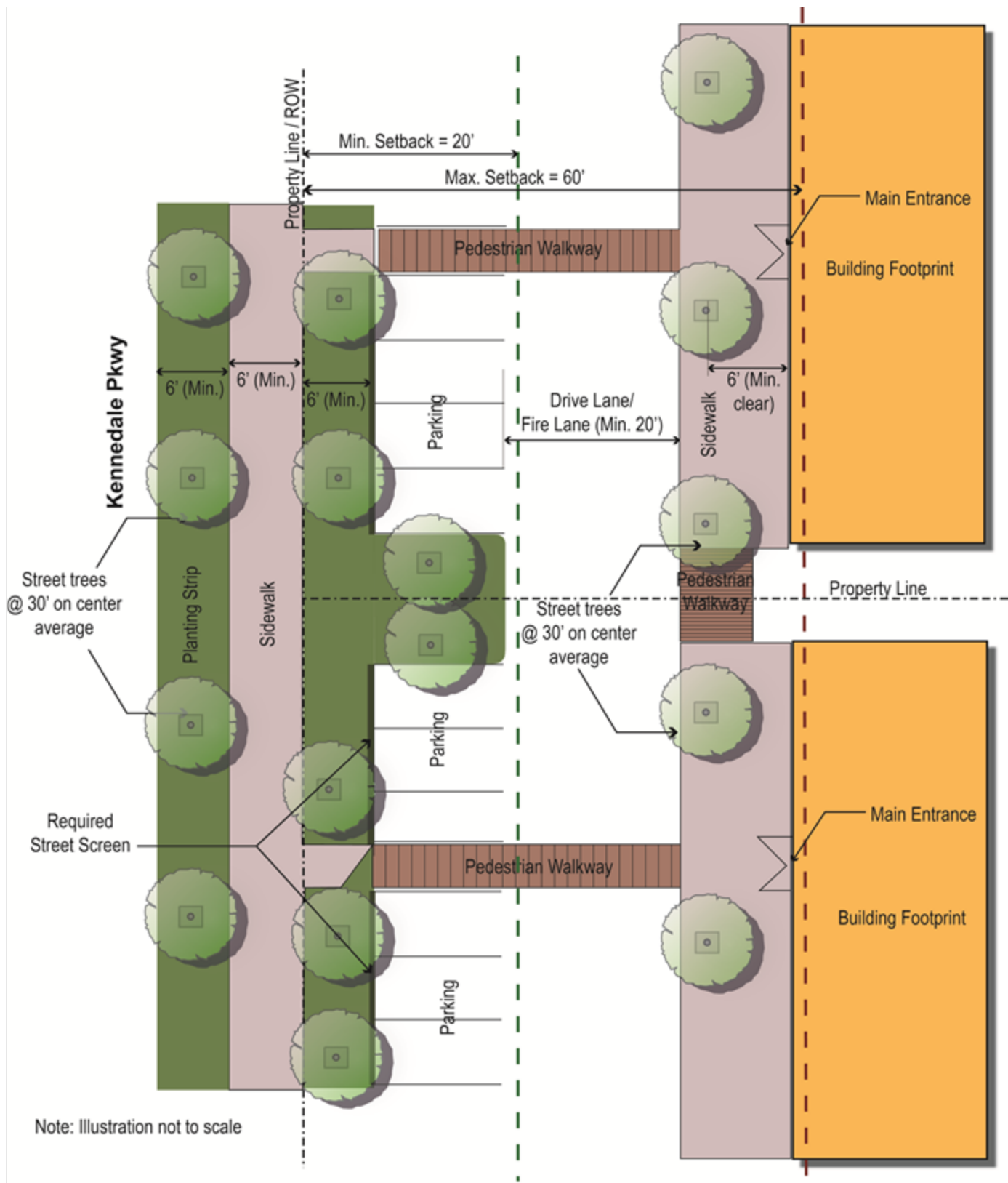


Figure 10. Example of parking area showing required streetscape and site design for properties along Kennedale Pkwy.

| Table 6.5                                                                                                                                                                                                                                                 |                            |                                                                                                                                                                                                                                              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Sidewalk location                                                                                                                                                                                                                                         | Minimum Width<br>(in feet) | Additional Requirements                                                                                                                                                                                                                      |
| Kennedale Pkwy                                                                                                                                                                                                                                            | 6                          | Street trees shall be installed by the developer/builder when sidewalks are installed, if permitted by TxDOT.* If street trees are not permitted, then alternative landscaping plans shall be submitted to the City for review and approval. |
| Link St                                                                                                                                                                                                                                                   | 8                          | Street trees shall be installed when a curb and gutter or approved alternative storm water conveyance system is installed.                                                                                                                   |
| I-20 frontage road                                                                                                                                                                                                                                        | 6                          | Street trees shall be installed by the developer/builder when sidewalks are installed, if permitted by TxDOT.* If street trees are not permitted, then alternative landscaping plans shall be submitted to the City for review and approval. |
| High Ridge Rd                                                                                                                                                                                                                                             | 5                          | Street trees shall be installed by the developer/builder when sidewalks are installed.*                                                                                                                                                      |
| * Street trees may be installed after sidewalk installation in order to prevent damage to tree roots during construction. However, sidewalk improvements will not be accepted by the City until street trees are also installed, inspected, and accepted. |                            |                                                                                                                                                                                                                                              |



Figure 11. Example of acceptable sidewalk width & location along Kennedale Pkwy. Sidewalks along Kennedale Pkwy shall be a minimum of 6' in width.



Figure 12. Example of acceptable sidewalk width & location along Link St



Figure 13. Example of acceptable sidewalk width & location along High Ridge Rd

### 6.3.3 Connections

Pedestrian walkways must be connected across properties to ensure safe, comfortable, and easily-accessible pedestrian connections are present throughout the Employment Center District.

## 6.4 CURB CUTS

Poor design and placement of parking lots and driveways can impede traffic flow and can also inhibit connectivity among sites and may reduce pedestrian safety. To enhance connectivity and increase safety, therefore, parking lots and driveways shall be planned to reduce the number of curb cuts and shall be designed to support pedestrian safety, connections, and comfort.

The sub-sections below establish criteria for curb cuts within the property regulated by this Code. The following regulations apply to any new curb cuts within the Employment Center and any existing curb cuts within the Employment Center for which a change in location or size is proposed.

- A. Primary driveways should be designed as streets. This includes designing pedestrian sidewalks and appropriate traffic control measures, as well as providing streetscape improvements and lighting to improve wayfinding.
- B. Parking lots and driveways shall provide pedestrian connections to storefronts. Dedicated walkways through parking lots and sidewalks shall be included in the design of access roadways.
- C. Traffic calming techniques shall be employed in parking and driveway areas to support pedestrian circulation concepts.
- D. Drive approach size and construction standards shall be governed by the City of Kennedale Public Works Design Manual.

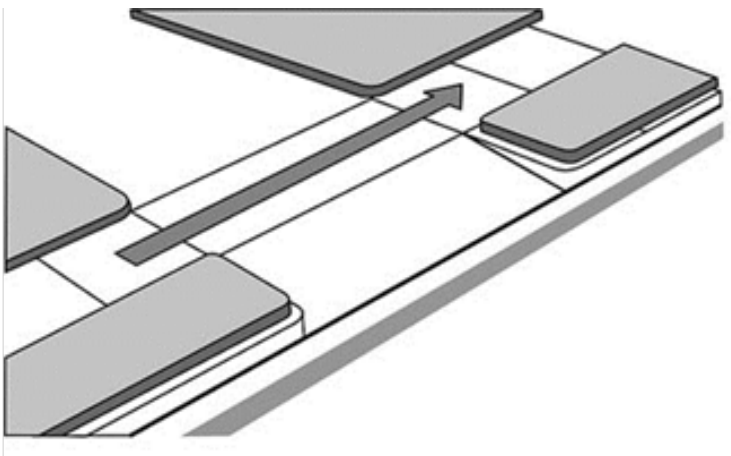


Figure 14. Primary driveway designed as a street, leading to off-street parking located behind the primary structure. Primary driveways in the Employment Center District should be designed as streets and should include pedestrian facilities such as raised sidewalks.

#### **6.4.1 Kennedale Parkway**

Placement and dimensions of curb cuts along Kennedale Pkwy shall be determined by the Texas Department of Transportation.

#### **6.4.2 “A” Streets**

- A. Curb cuts on “A” Streets shall be limited to 1 per 500 feet.
- B. Cross access easements shall be required.

#### **6.4.3 “B” Streets**

- A. Curb cuts on “B” Streets shall be limited to 1 per 250 feet.
- B. Cross access easements shall be required.

### **6.5 LANDSCAPING**

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Landscaping shall adhere to the requirements of Kennedale City Code except where modified by this Code.

#### **6.5.1 Kennedale Parkway**

Development along Kennedale Pkwy shall follow the landscaping plans approved for the City of Kennedale’s landscaping on the TxDOT green ribbon grant program.

#### **6.5.2 “A” Streets**

Street trees are required along roadways classified as “A” Streets. One (1) tree is required a minimum of every forty (40) feet and a maximum of fifty (50) feet, center to center, on average, but can vary to accommodate signage, topography, or other site conditions. For “A” Streets without curb and gutter storm water systems in place at the time of development, placement of street trees is deferred while existing storm water controls are in place. Until such time as curb and gutter or an approved alternative storm water conveyance system is installed, developers may pay a fee in lieu of planting trees.

#### **6.5.3 “B” Streets**

Street trees for roadways classified as “B” Streets shall follow the requirements of Kennedale City Code in terms of number of trees, size required, placement of trees, and care during construction, as well as any other requirement not in conflict with this Code.

#### **6.5.4 Tree and Plant Selection**

- A. *Street trees.* Street trees shall be selected from the list of approved street trees in Chapter 17, Article VIII, Section 17-605, Table A(b) of the Kennedale City Code, except that Chinese Pistache (*Pistachio Chinensis*) is prohibited.
- B. *Landscaping plants.* Landscaping plants shall be selected from the list of approved plants in Chapter 17, Article VIII, Section 17-605, Table A of the Kennedale City Code, except that the following plants are prohibited:
- Japanese Honeysuckle / Purple Leaf Honeysuckle (*Lonicera Japonica* / *Lonicera Japonica Halliana*)
  - Vinca / Bigleaf Periwinkle (*Vinca Major*)
- C. *Other permitted plants.* Notwithstanding the above, a landscaping plant not on the approved list may be used if it is demonstrated to be drought tolerant and is a native Texas plant suitable for growing in this area. A list of native plants suitable for North Central Texas is available online at the Lady Bird Johnson Wildflower Center website ([www.wildflower.org](http://www.wildflower.org)), and a list of plants suitable for Tarrant County is available from the Texas Parks & Wildlife Department website ([tpid.tpwd.state.tx.us](http://tpid.tpwd.state.tx.us)). A list of plants recommended by these organizations is attached to this Code as an appendix. Non-invasive, native plants from these lists may be used for landscaping required by this Code.

### **6.5.5 Landscaping Used as Screening**

For regulations governing use of landscaping to screen parking areas, see Sub-section 6.2.2 of this Code governing parking, above. For regulations governing use of landscaping for screening other uses, see Section 6.3.

### **6.5.6 Irrigation**

*Applicable regulations.* Except where otherwise in Appendix C, irrigation shall be regulated as set forth in Kennedale City Code.

## **6.6 LIGHTING**

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Adequate lighting is important to ensure safety for employees who work in the Employment Center District, for customers, and for residents who live nearby. Proper lighting design can also add to the attractiveness and visibility of a property. Poor lighting design, however, can diminish the attractiveness of a site and can also impede safety. This section is intended to regulate lighting in the Employment Center to ensure public health, safety, and general welfare and to ensure lighting contributes to the desired character of the district.

### 6.6.1 Requirements for Exterior Lighting

- A. Lighting for each property shall be designed for the context of traffic (automobile, bicycle, or pedestrian) on the surface streets abutting the property, rather than for visibility from Interstate 20.
- B. All luminaries used primarily for illuminating off-street parking areas, lighted canopies for commercial uses, and similar lighting needs shall have a maximum height of twenty (20) feet.
- C. All luminaires used primarily for walkways, trails, security, decorative effects, lighting equipment or storage areas, fountains, art work, building walls, or similar lighting needs shall have a mounting height no higher than fourteen (14) feet.
- D. Light trespass shall be minimized; light levels at the property line should not exceed 2 footcandles (fc). *Footcandle* means the unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one foot square from a distance of one foot.
- E. Fixtures for decorative lighting must be selected, located, aimed, and shielded so that direct illumination is focused solely on the building façade, plantings, and other intended site feature, and away from adjoining properties and the public street right-of-way.
- F. The operation of searchlights for advertising purposes is prohibited between the hours of 9:00 P.M. and 7:00 A.M.

# SECTION 7. SIGNS

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## 7.1 Purpose of Sign Regulations

The purpose of this section is to create the legal framework for a comprehensive and balanced system of signage in the Employment Center District. These regulations are intended to provide an easy and pleasant communication between people and their environment and avoid visual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities, and community appearance. In addition to protecting the health, welfare, and safety of the community, these standards are adopted in order to:

- Maintain and enhance the aesthetics of our community;
- Enhance automobile and pedestrian safety;
- Encourage the integration of signage with landscaping and building design;
- Protect and enhance scenic views and natural landscapes;
- Protect and enhance economic viability of the city's commercial corridors by assuring aesthetic appeal to businesses and residents alike;
- Promote the use of aesthetically pleasing sign materials, colors, and types; and
- Require safe and effective signage.

## 7.2 Definitions

Terms in this section use the definitions provided in Section 17-502 of the Kennedale City Code unless otherwise specified in this section.

## 7.3 Administration and Enforcement

Administration and enforcement of this Section shall follow the administration and enforcement provisions of Section 17-503 of the Kennedale City Code.

## 7.4 Applicability.

Unless otherwise expressly prohibited under this section or regulated in this section, Sections 17-504 through 17-516 of the Kennedale City Code shall apply to all signs proposed in the Employment Center Zoning District.

## 7.5 Signs to be located on private property

All signs must be wholly located on private property. EDC-owned signs shall be located within an easement dedicated for the purpose of allowing installation, maintenance, and replacement of such signs.

## 7.6 Prohibited signs

Except as otherwise stated in this Code, any sign prohibited in Chapter 17 Section 17-514 of the Kennedale City Code is also prohibited within the Employment Center District. In addition, Electronic Reader Board/Message Board signs and Changeable Electronic Variable Message signs (CEVMS) (as defined in the Kennedale City Code) are also prohibited.

### 7.7 Sign Height and Location

Sign height, type, and location shall be as set forth in the tables below. Figures shown are for illustration purposes only. The illustrations used do not necessarily show signs meeting the standards of this Code.

| TABLE 7.1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                             |                                            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|--------------------------------------------|
| POLE SIGNS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                             |                                            |
| Location                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Maximum height<br>(in feet) | Maximum sign face area<br>(in square feet) |
| Permitted on High Ridge Rd                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 75                          | 360                                        |
| Additional Requirements:<br>1) A total of two (2) pole signs are permitted within the District. A maximum of one (1) pole sign shall be permitted per lot. Pole signs shall be permitted on High Ridge Rd only and shall be located within 500 feet of the I-20 frontage road right-of-way.<br>2) Pole signs shall be shared between at least two tenants/businesses within the Employment Center District.<br>3) Pole signs shall not be permitted without a signed, recorded agreement as described in Section 17-510(e) of the Kennedale City Code concerning unified sign agreements.<br>4) Pole signs will not be permitted without an approved sign plan as described in Section 17-510(d) of the Kennedale City Code concerning unified sign agreements. |                             |                                            |

[illustration to be added]

Figure 15. Example of shared pole sign.

TABLE 7.2

## SINGLE TENANT MONUMENT SIGNS

| Location                 | Maximum Height<br>(in feet) | Maximum sign face area<br>(in square feet) |
|--------------------------|-----------------------------|--------------------------------------------|
| All parcels <sup>6</sup> | 12 <sup>2</sup>             | 100                                        |

**Additional Requirements:**

- 1) The sign base and sign structure shall be brick, stone, or masonry material matching the front façade of the primary building. The sign face shall be framed on the sides by a minimum of six (6) inches of brick, stone, or masonry material matching the front façade of the primary building.
- 2) Address numbers are required on business monument signs. If the area of the address number is five (5) square feet or less, the area will not count toward the maximum sign face area. The address numbers can be placed in or encroach into the masonry perimeter.
- 3) A maximum of one (1) monument sign is permitted per business.
- 4) EDC-owned monument signs shall follow regulations in Table 7.3.



Figure 16. Example of single tenant monument sign. Photo courtesy Morpho Landscape Architecture.

**TABLE 7.3**

### EDC\*-OWNED MULTI-TENANT MONUMENT SIGNS

| Location         | Maximum Height<br>(in feet) | Maximum sign face area<br>(in square feet) |
|------------------|-----------------------------|--------------------------------------------|
| To Be Determined | 15                          | 150 (each side)                            |

- 1) One (1) sign of this height and area is permitted within the Employment Center Corridor Commercial sub-district.
- 2) The purpose of the sign is to permit multiple businesses to reserve space on a monument sign not located on the businesses' property, with design and maintenance of the sign to be the responsibility of the EDC.
- 3) The sign base and sign structure shall be brick, stone, or masonry material matching the front façade of the building. The sign face shall be framed on the sides by a minimum of six (6) inches of brick, stone, or masonry material matching the front façade of the building.

\*EDC = Kennedale Economic Development Corporation



Figure 17. Example of brick multi-tenant sign.

| TABLE 7.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                             |                                            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|--------------------------------------------|
| EDC-OWNED DISTRICT IDENTIFICATION SIGNS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                             |                                            |
| Location                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Maximum Height<br>(in feet) | Maximum sign face area<br>(in square feet) |
| Kennedale Pkwy                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | 27                          | 135 (each side)                            |
| <p>Additional Requirements:</p> <ol style="list-style-type: none"> <li>1) On property owned by the Kennedale Economic Development Corporation (EDC), the EDC is permitted to install and manage one (1) identification sign, the purpose of which is to identify the Employment Center District. The sign shall serve as a gateway feature and may also be used to provide way-finding information for sub-districts and features within the District. The sign shall not be used to identify or promote individual tenants of the District.</li> <li>2) The sign(s) must be designed and maintained as an entry feature for the city and the district.</li> <li>3) The sign base and sign structure shall be brick, stone, or masonry material matching the primary design theme for the District.</li> </ol> |                             |                                            |

The following illustrations are not intended to show signs that meet the requirements of this Code, but rather are intended to illustrate the general concept of a district identification sign.



Figures 18-20. Examples of district identification signs. Images from left to right courtesy Dsafdy, Xnatedawgx, and Stacalusa. See Appendix D for full credit information.

| TABLE 7.4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                |                                        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|----------------------------------------|
| ATTACHED SIGNS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                |                                        |
| Location                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Maximum height                 | Maximum sign face area                 |
| Permitted on all properties                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Shall not exceed 75% of façade | Maximum four hundred (400) square feet |
| <p>Additional Requirements:</p> <ol style="list-style-type: none"> <li>1) Attached signs facing existing residential or lodging uses shall be shielded or use lighting techniques that prevent the illumination from intruding into structures on adjacent or other properties at night.</li> <li>2) A maximum of two (2) attached signs is allowed per business. Every sign should be an integral, subordinate element within the overall building and site design. The scale and proportion of the signage shall not overpower the building or obscure the building’s architectural features.</li> <li>3) The direct painting of signs on buildings shall be prohibited except for signs less than a three-square-foot area used for building identification (such as the street address).</li> <li>4) In no case shall an attached sign project above the roof line of any building, except those attached to parapet walls, and the sign may not extend above the parapet wall.</li> <li>5) Signs may be illuminated with internal lighting. No exposed neon is permitted.</li> <li>6) For multi-tenant buildings, the following regulations apply: <ol style="list-style-type: none"> <li>(a) Each lease or tenant space shall be permitted only one attached sign per street front with a maximum of two attached signs per tenant/lease space.</li> <li>(b) The dimensions of each of the two signs shall be based upon the street typology that the respective building façade faces.</li> <li>(c) Signs may be illuminated with internal lighting. No exposed neon is permitted.</li> </ol> </li> </ol> |                                |                                        |



Figure 21. Example of an attached sign.

| TABLE 7.5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                 |                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|------------------------|
| AWNING SIGNS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                 |                        |
| Location                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Minimum height                  | Maximum sign face area |
| Permitted on all properties                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 8 ft above sidewalk/ clear zone | See below              |
| Additional Requirements: <ul style="list-style-type: none"> <li>Awnings may encroach the sidewalk to within 2 feet of the curb (or within 2 feet of the edge of the clear zone, if building is not adjacent to the sidewalk) but must clear the sidewalk/clear zone vertically by at least 8 feet.</li> <li>Permitted materials shall be canvas cloth or equivalent (no shiny or reflective materials), metal, or glass.</li> <li>Awnings shall have a minimum depth of three (3) feet.</li> <li>No internal illumination is permitted through the awning/overhang.</li> <li>Except for wall signs permitted to be attached to canopies, lettering and/or logos on awning and canopies shall be limited to 5 inches tall on the vertically hanging fabric/face at the curb side of the awning or canopy.</li> <li>Lettering on awnings or canopies is limited to the business logo, business name, and/or slogan. Phone numbers, website addresses, and other additional wording that would clutter the lettering space are prohibited.</li> </ul> |                                 |                        |



Figure 22. Example of an awning sign. Photo courtesy Gary Halvorson, Oregon State Archives.

## 7.8 Measurement of sign height

As applied to a sign, height shall be measured as the vertical distance between the highest part of the sign or its supporting structure, whichever is higher, and final finished grade at the center of the base of the sign. *Final finished grade* means the top compacted and leveled earth for the purposes of constructing a slab foundation, as shown on the approved site plan for the development for which a sign is requested.

## 7.9 Master Sign Plan

The owner(s) of a tract or tracts of land may file a master sign plan request in order to ask for a multi-tenant sign to be permitted or for a modification of any requirements that may apply to a sign under this Code. To request a multi-tenant sign, the property or properties in question must qualify under a unified sign agreement under Section 17-510 of the Kennedale City Code and must follow the process for requesting a unified sign agreement as stated in Section 17-510. To request a master sign plan to permit a modification of sign requirements, the owner(s) shall follow the process as stated in Section 17-511 of the Kennedale City Code.

## SECTION 8. LAND USES

|                                                                                                                                                                                                    | Character<br>Zone | Corridor<br>Commercial<br>Sub-Zone 1 | Green<br>Corridor<br>Sub-Zone 1 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|--------------------------------------|---------------------------------|
| <b><i>Land Use</i></b>                                                                                                                                                                             |                   |                                      |                                 |
| Retail Sales or Service (personal service uses), <u>with no drive through facility</u>                                                                                                             |                   | P                                    |                                 |
| Retail Sales or Service (personal service uses), <u>with drive through facility</u><br><br>(Excluded from this category are retail sales and service establishments geared towards the automobile) |                   | P/C                                  |                                 |
| Auto-related Sales or Service establishments                                                                                                                                                       |                   | P/C                                  |                                 |
| Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>                            |                   | P                                    |                                 |
| Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with drive through facility</u>                               |                   | P/C                                  |                                 |
| Offices for business, professional, administrative, and technical services such as accountants, architects, lawyers, doctors, etc.                                                                 |                   | P                                    |                                 |
| Research laboratory headquarters, laboratories and associated facilities                                                                                                                           |                   | P                                    |                                 |

| Character Zone                                                                                                                                                                                                           | Corridor Commercial Sub-Zone 1 | Green Corridor Sub-Zone 1 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|---------------------------|
| Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars with <u>no drive through facilities</u>                                                                | X                              |                           |
| Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars <u>with drive through facilities</u>                                                                   | C                              |                           |
| Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages (with food service). |                                |                           |
| Pet and animal sales or service (incl. vet clinic)                                                                                                                                                                       | P                              |                           |
| Amusement or theme park establishment (indoor) including bowling alleys, bingo parlor, games arcades, skating, etc.                                                                                                      | P                              |                           |
| Art galleries                                                                                                                                                                                                            | P                              |                           |
| Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)                                                                                                | P                              |                           |
| Theater, cinema, dance, or music establishment                                                                                                                                                                           | P                              |                           |
| Museums and other special purpose recreational institutions                                                                                                                                                              | P                              |                           |
| Fitness, recreational sports, gym, or athletic club                                                                                                                                                                      | P                              |                           |
| Parks & open space, trails                                                                                                                                                                                               | P                              | P                         |
| Business associations and professional membership organizations                                                                                                                                                          | P                              | NP                        |
| Child day care and preschools                                                                                                                                                                                            | P                              | NP                        |
| Schools, libraries, and community halls                                                                                                                                                                                  | P                              | NP                        |

|                                                                                                                            | Character<br>Zone | Corridor<br>Commercial<br>Sub-Zone 1 | Green<br>Corridor<br>Sub-Zone 1 |
|----------------------------------------------------------------------------------------------------------------------------|-------------------|--------------------------------------|---------------------------------|
| Universities and colleges                                                                                                  |                   | P                                    | NP                              |
| Technical, trade, and specialty schools                                                                                    |                   | P                                    | NP                              |
| Hospitals and nursing establishments                                                                                       |                   | P                                    | NP                              |
| Civic uses                                                                                                                 |                   | P                                    | NP                              |
| Social and fraternal organizations                                                                                         |                   | P                                    | NP                              |
| Social services and philanthropic organizations                                                                            |                   | P                                    | NP                              |
| Public administration uses (including local, state, and federal government uses, public safety, health and human services) |                   | P                                    | NP                              |
| Religious Institutions                                                                                                     |                   | P                                    | NP                              |
| Home Occupations                                                                                                           |                   | P/C                                  | NP                              |
| Multi-family residential                                                                                                   |                   | NP                                   | NP                              |
| Ground floor                                                                                                               |                   | NP                                   | NP                              |
| Upper floors                                                                                                               |                   | P/C                                  | NP                              |
| Live-work unit                                                                                                             |                   | P                                    | NP                              |
| Publishing (newspaper, books, periodicals, software)                                                                       |                   | P                                    | NP                              |
| Motion picture and sound recording                                                                                         |                   | P                                    | NP                              |
| Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)                           |                   | P/C                                  | NP                              |

|                                                                      | Character<br>Zone | Corridor<br>Commercial<br>Sub-Zone 1 | Green<br>Corridor<br>Sub-Zone 1 |
|----------------------------------------------------------------------|-------------------|--------------------------------------|---------------------------------|
| Information services and data processing                             |                   | P                                    |                                 |
| Hotels                                                               |                   | P                                    |                                 |
| Parking, surface (primary use of property)                           |                   | NP                                   |                                 |
| Parking, surface (accessory use of property)                         |                   | P/C                                  |                                 |
| Parking, structured                                                  |                   | P                                    |                                 |
| Veterinary clinic                                                    |                   | P                                    |                                 |
| Community garden                                                     |                   | P                                    |                                 |
| Outdoor Display                                                      |                   | P/C                                  |                                 |
| Antennas including cell, accessory, and mounted on top of buildings. |                   | C and SE                             |                                 |
| Wind energy equipment                                                |                   | C                                    |                                 |
| Solar energy equipment                                               |                   | C                                    |                                 |
| Special Event                                                        |                   | CC                                   | CC                              |

P= Permitted by  
right

NP= Not  
Permitted

P/C = Permitted with Specific  
Criteria as established in  
Table 5.2

P/SE = Permitted with a  
Special Exception from  
the Board of Adjustment

P/CC = Permitted with  
approval from the City  
Council

5.3 Use Criteria: All uses listed as P/C in Table 5.1 shall also meet the following standards in Table 5.2

| Table 5.2 – Use Criteria                                                                                                                                            |                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Use</i>                                                                                                                                                          | <i>Zone</i>                    | <i>Location &amp; Design Criteria</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <b>Non-Residential Uses</b>                                                                                                                                         |                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Retail sales or service (personal service uses) with drive through facilities                                                                                       | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Auto-related Sales or Service establishments                                                                                                                        | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Automobiles or related items for sale shall be located behind the primary structure. Service bays shall not face a public street. Site design shall provide for safe, comfortable passage for pedestrians across the property where it abuts a public street. Various site design options will be considered by staff but any design proposal shall insure pedestrians and drivers entering or exiting the site can see each other clearly and in enough time to avoid a crash. Other design options include, but are not limited to, providing a median or other pedestrian refuge for drive approaches 30 feet or wider, providing and maintaining clearly marked crosswalks across driveways or drive approaches, and other means of alerting drivers to the potential presence of pedestrians.</li> </ul> |
| Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services <u>with drive through facility</u> | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Food Service Uses such as full-service restaurants, fast food establishments, cafeterias, bakeries and snack bars <u>with drive through facilities</u>              | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Service windows and stacking lanes for drive-thru businesses shall have a minimized impact on public streets, particularly at corner sites. In cases where site constraints require the location of the drive-thru lanes between the street and the building, the view of the lanes should be minimized with the use of landscaping and other design elements.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Residential Uses</b>                                                                                                                                             |                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Home occupations                                                                                                                                                    | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Home Occupations are permitted as allowed in Kennedale City Code Section 17-423.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Multi-family residential<br><br>Upper Floor                                                                                                                         | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Residential uses may not exceed fifty percent (50%) of the structure's gross floor area.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Other Uses</b>                                                                                                                                                   |                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)                                                                    | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Fleet parking and outdoor storage are prohibited.</li> <li>Radio &amp; television towers, Microwave towers, and telephone exchanges require a special exception from the Board of Adjustment.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Parking, surface (accessory use of                                                                                                                                  | Corridor Commercial Sub-Zone 1 | <ul style="list-style-type: none"> <li>Parking shall be screened as required by this Code. Commercial parking lots (parking for a fee) are not permitted.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

Table 5.2 – Use Criteria

| <i>Use</i>                                                          | <i>Zone</i>                                                         | <i>Location &amp; Design Criteria</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|---------------------------------------------------------------------|---------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| property)                                                           |                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Outdoor Display                                                     | Corridor Commercial Sub-Zone 1                                      | <ul style="list-style-type: none"> <li>Outdoor display is permitted when in compliance with Section 4-227 of the Kennedale City Code. Outdoor display shall not be used for storage. For the purposes of this Code, “display” means the exhibition of goods, wares, or merchandise for sale. Vehicles, trailers, or boats shall not be displayed outdoors. Items displayed outdoors shall be located within 15 feet of the primary building entrance and shall not exceed more than 20% of the width of the front façade.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Antennas including cell, accessory, and mounted on top of buildings | Corridor Commercial Sub-Zone 1                                      | <ul style="list-style-type: none"> <li>Satellite antennas shall be regulated under Section 17-417 of the Kennedale City Code. Other uses under this category require a special exception from the Board of Adjustment.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Wind energy equipment                                               | Corridor Commercial Sub-Zone 1                                      | <ul style="list-style-type: none"> <li>Freestanding wind energy equipment shall be considered an accessory building and shall be subject to the requirements for such, together with all other applicable building codes and ordinances, including height limits. Wind energy production/generation shall not be the primary use of any property within the Corridor Commercial Sub-Zone 1.</li> <li>Wind energy equipment shall comply with the height requirements and other requirements for accessory buildings as regulated by Kennedale City Code Section 17-405.</li> <li>Wind energy equipment shall be subject to Chapter 15, Article V of the Kennedale City Code concerning loud noises (nuisances).</li> <li>All portions of the wind energy system shall be a non-reflective, non-obtrusive color, subject to the approval of the Planning Director.</li> <li>Wind energy equipment shall not be used for displaying any advertising and shall not be illuminated.</li> <li>The electrical collection system shall be placed underground within the interior of each parcel.</li> <li>A building permit and any other permit related to work required to install wind energy equipment shall be obtained prior to installation of any wind energy equipment.</li> </ul>                                                                                                                                                                                                                                                                |
| Solar energy equipment                                              | Corridor Commercial Sub-Zone 1                                      | <ul style="list-style-type: none"> <li>Freestanding solar collectors shall be considered an accessory building and shall be subject to the requirements for such, together with all other applicable building codes and ordinances, including height limits. Solar energy production/generation shall not be the primary use of any property within the Corridor Commercial Sub-Zone 1.</li> <li>Structurally attached solar collectors are permitted in the Corridor Commercial Sub-Zone 1. “Structurally attached solar collector” means solar collectors attached to an existing structure’s roof or wall or serving as a structure’s roof, wall, window or other structural member. Structurally attached solar collectors installed on a building with a sloped roof shall not project vertically above the peak of the roof. Structurally attached solar collectors installed on a building with a flat roof shall not project vertically more than five (5) feet above the roof.</li> <li>Roof-mounted or structurally attached solar energy systems shall comply with the maximum height requirements in the applicable zoning district. Ground-mounted solar energy equipment shall comply with the height requirements and other requirements for accessory buildings as regulated by Kennedale City Code Section 17-405.</li> <li>A building permit, electrical permit, or any other permit related to work required to install solar energy equipment shall be obtained prior to installation of any solar energy equipment.</li> </ul> |
| Special Event                                                       | Corridor Commercial Sub-Zone 1<br><br>Green Corridor Sub-District 1 | <ul style="list-style-type: none"> <li>Special Events require approval from the City Council. Flea markets are prohibited (indoor or outdoor).</li> <li>Special Events require approval from the City Council.</li> <li>It shall be unlawful to place or erect any structure, sign, bulletin board, post, pole, or advertising device of any kind whatever, or to attach to any tree, shrub, fence, railing, post within the Green Corridor; provided, however, the city manager, or his designee, may permit in writing the erection of temporary decorations on occasions of public celebrations or holidays.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

# EXHIBITS

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- A District boundaries: property regulated by this Code
- B TBD
- C TBD

The boundaries of the Employment Center district are, approximately: Kennedale Parkway to the east, the Union Pacific rail line to the west, the IH-20 frontage road to the north, and Village Creek to the south.

The Corridor Commercial Sub-District 1 is bisected by the Green Corridor Sub-District 1. The boundaries of the northern section are, approximately: the QuikTrip Planned Development District to the north, the Green Corridor Sub-District 1 to the south, High Ridge Road to the west, and Kennedale Pkwy to the east. The boundaries of the southern section are, approximately: the Green Corridor Sub-District 1 to the north, Oak Crest Drive to the south, High Ridge Road to the west, and Kennedale Pkwy to the east.

The boundaries of the Green Corridor Sub-District 1 are, approximately: Corridor Commercial Sub-District 1 to the north and to the south, High Ridge Rd to the west, and Kennedale Pkwy to the east.

More specific boundaries shall be established as properties are re-zoned under this Code.

# APPENDICES

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- A. Definitions
- B. Native plant lists
- C. Irrigation requirements
- D. Photo credits

## APPENDIX A. DEFINITIONS

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*Blank wall* means any building wall that is a portion of a building wall or façade without a window or door or similar architectural feature and is over four feet in height from ground level and longer than 60 feet, as measured horizontally, without having a window, door, building modulation, or other similar architectural feature meant to lessen the apparent bulk or massing of a structure.

*Footcandle* means the unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one foot square from a distance of one foot.

*Frontage zone* means the area between the pedestrian walkway or sidewalk and primary structure (or property line, for structures where no front setback is required). Pedestrians tend to avoid walking close to barriers such as buildings, storefronts, walls, or fences, in the same way that they tend to avoid walking close to the roadway. For this reason, some sub-districts in the Employment Center have a minimum frontage zone width in order to provide more comfort for pedestrians. Typically, the frontage zone is also the area in which sidewalk entertainment, such as street cafes and vendors, are located. Sometimes also referred to as a *clear zone*, the frontage zone buffers pedestrians from appurtenances, doorways, and similar obstacles.

*Harvested rainwater* means storm water that is conveyed from a building roof, stored in a cistern or rain barrel, and disinfected and filtered before being used.

*Modulation* means the stepping back or projecting forward of parts of a building.

*Structure* means anything constructed or erected having location on or under the ground or attached to something having location on or under the ground, but not including fences or screening walls required by this Code.

*Visible Transmittance* means the amount of light transmitted through a window. VT is expressed as a number between 0 and 1; the closer the number is to 1, the higher the potential for daylighting.

## APPENDIX B.

# NATIVE PLANTS APPROPRIATE FOR THE KENNEDALE REGION

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## APPENDIX B

### Native Plants

The following plants are recommended by the Lady Bird Johnson Wildflower Center for use in the North Central Texas area.

| Scientific Name                                      | Common Name                                                                                                           | Duration  | Habit            | Sun                    | Water      |
|------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|-----------|------------------|------------------------|------------|
| <i>Acer negundo</i>                                  | Ash-leaf maple, Ash-leaved maple, Box elder, Boxelder, Fresno de guajuco                                              | Perennial | Tree             | Sun                    | Moist      |
| <i>Aesculus glabra</i>                               | Ohio buckeye, Texas buckeye, Fetid buckeye, Horse chestnut                                                            | Perennial | Tree             | Sun, Shade, Part-shade | Moist      |
| <i>Amblyolepis setigera</i>                          | Huisache daisy, Butterfly daisy, Honey daisy                                                                          | Annual    | Herb             | Part-shade             | Dry        |
| <i>Amorpha fruticosa</i>                             | Indigo bush, False indigo bush, False indigo, Desert false indigo                                                     | Perennial | Shrub            | Sun, Part-shade        | Moist      |
| <i>Andropogon gerardii</i>                           | Big bluestem, Turkeyfoot                                                                                              | Perennial | Grass/Grass-like | Sun, Part-shade        | Moist      |
| <i>Anisacanthus quadrifidus</i> var. <i>wrightii</i> | Flame acanthus, Hummingbird bush, Wright's desert honeysuckle, Wright acanthus, Mexican flame, Wright's Mexican flame | Perennial | Shrub            | Sun, Part-shade        | Moist, Dry |
| <i>Aquilegia canadensis</i>                          | Eastern red columbine, Wild red columbine                                                                             | Perennial | Herb             | Shade, Part-shade      | Moist, Dry |
| <i>Asclepias tuberosa</i>                            | Butterflyweed, Butterfly milkweed, Orange milkweed, Pleurisy root                                                     | Perennial | Herb             | Sun, Part-shade        | Moist, Dry |
| <i>Bignonia capreolata</i>                           | Crossvine                                                                                                             | Perennial | Vine             | Sun, Part-shade        | Moist, Dry |
| <i>Bouteloua curtipendula</i>                        | Sideoats grama                                                                                                        | Perennial | Grass/Grass-like | Sun, Part-shade        | Moist, Dry |
| <i>Bouteloua dactyloides</i>                         | Buffalograss, Buffalo grass                                                                                           | Perennial | Grass/Grass-like | Sun                    | Dry        |
| <i>Bouteloua gracilis</i>                            | Blue grama                                                                                                            | Perennial | Grass/Grass-like | Sun                    | Dry        |
| <i>Callicarpa americana</i>                          | American beautyberry, French mulberry                                                                                 | Perennial | Shrub            | Part-shade             | Moist      |
| <i>Callirhoe digitata</i>                            | Finger poppy-mallow, Poppy mallow, Standing winecup, Wine cup, Winecup                                                | Perennial | Herb             | Sun                    | Dry        |
| <i>Callirhoe involucrata</i>                         | Winecup, Purple poppy mallow                                                                                          | Perennial | Herb             | Sun, Part-shade        | Moist, Dry |

|                                                  |                                                                                                                                |           |       |                          |               |
|--------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|-----------|-------|--------------------------|---------------|
| <i>Campsis radicans</i>                          | Trumpet creeper, Trumpet vine,<br>Common trumpet creeper, Cow vine                                                             | Perennial | Vine  | Sun                      | Moist,<br>Dry |
| <i>Carya illinoensis</i>                         | Pecan                                                                                                                          | Perennial | Tree  | Sun                      | Moist         |
| <i>Carya texana</i>                              | Black hickory                                                                                                                  | Perennial | Tree  | Part-<br>shade           | Dry           |
| <i>Castilleja indivisa</i>                       | Entireleaf indian paintbrush, Texas<br>paintbrush, Indian paintbrush, Scarlet<br>paintbrush, Entire-leaf indian-<br>paintbrush | Annual    | Herb  | Sun                      | Dry           |
| <i>Centaurea<br/>americana</i>                   | American basket-flower, American<br>star-thistle, Basket-Flower, Star thistle,<br>Shaving brush                                | Annual    | Herb  | Part-<br>shade           | Dry           |
| <i>Cephalanthus<br/>occidentalis</i>             | Common buttonbush, Buttonbush,<br>Button willow                                                                                | Perennial | Shrub | Shade,<br>Part-<br>shade | Wet,<br>Moist |
| <i>Cercis canadensis</i><br>var. <i>texensis</i> | Texas redbud                                                                                                                   | Perennial | Tree  | Sun,<br>Part-<br>shade   | Dry           |
| <i>Chromolaena<br/>odorata</i>                   | Jack in the bush, Fragrant boneset,<br>Fragrant mistflower, Crucita, Blue<br>mistflower                                        | Perennial | Shrub | Part-<br>shade           | Dry           |
| <i>Clematis pitcheri</i>                         | Purple clematis, Purple leatherflower,<br>Leatherflower, Bluebill                                                              | Perennial | Vine  | Sun,<br>Part-<br>shade   | Moist         |
| <i>Conoclinium<br/>coelestinum</i>               | Blue mistflower                                                                                                                | Perennial | Herb  | Sun,<br>Part-<br>shade   | Moist         |
| <i>Cooperia<br/>drummondii</i>                   | Evening rain lily, Evening star rain lily                                                                                      | Perennial | Herb  | Sun,<br>Part-<br>shade   | Moist,<br>Dry |
| <i>Coreopsis tinctoria</i>                       | Plains coreopsis, Golden tickseed,<br>Goldenwave, Calliopsis                                                                   | Annual    | Herb  | Sun,<br>Part-<br>shade   | Moist         |
| <i>Diospyros texana</i>                          | Texas persimmon, Mexican<br>persimmon, Black persimmon,<br>Chapote, Chapote prieto                                             | Perennial | Tree  | Sun,<br>Part-<br>shade   | Dry           |
| <i>Echinacea<br/>angustifolia</i>                | Black Sampson, Black Samson<br>echinacea, Narrow-leaf Coneflower                                                               | Perennial | Herb  | Sun,<br>Part-<br>shade   | Dry           |
| <i>Echinacea purpurea</i>                        | Eastern purple coneflower, Purple<br>coneflower                                                                                | Perennial | Herb  | Sun,<br>Part-<br>shade   | Dry           |
| <i>Engelmannia<br/>peristenia</i>                | Engelmann's daisy, Engelmann Daisy,<br>Cutleaf Daisy                                                                           | Perennial | Herb  | Sun                      | Dry           |
| <i>Eryngium<br/>leavenworthii</i>                | Leavenworth's eryngo, Eryngo                                                                                                   | Annual    | Herb  | Sun,<br>Part-<br>shade   | Moist         |
| <i>Eustoma exaltatum</i>                         | Texas bluebells, Texas bluebell,                                                                                               | Annual,   | Herb  | Sun                      | Moist         |

|                                                            |                                                                                                   |                     |                  |                        |            |
|------------------------------------------------------------|---------------------------------------------------------------------------------------------------|---------------------|------------------|------------------------|------------|
| <i>ssp. russellianum</i>                                   | Bluebell, Showy prairie gentian, Prairie gentian                                                  | Biennial, Perennial |                  |                        |            |
| <i>Frangula caroliniana</i>                                | Carolina buckthorn, Carolina false buckthorn, Indian cherry                                       | Perennial           | Tree             | Part-shade             | Moist      |
| <i>Fraxinus americana</i>                                  | White ash                                                                                         | Perennial           | Tree             | Sun, Shade, Part-shade | Moist, Dry |
| <i>Gaillardia pulchella</i>                                | Firewheel, Indian Blanket                                                                         | Annual              | Herb             | Sun, Part-shade        | Dry        |
| <i>Glandularia bipinnatifida</i> var. <i>bipinnatifida</i> | Prairie verbena, Purple prairie verbena, Dakota mock vervain, Dakota vervain                      | Annual, Perennial   | Herb             | Sun, Part-shade        | Dry        |
| <i>Helianthus maximiliani</i>                              | Maximilian sunflower, Max sunflower                                                               | Perennial           | Herb             | Sun                    | Moist, Dry |
| <i>Hesperaloe parviflora</i>                               | Red yucca, Coral yucca, Red flowered false yucca, Redflower false yucca, Samandoque, Yellow yucca | Perennial           | Cactus/Succulent | Sun                    | Dry        |
| <i>Hibiscus laevis</i>                                     | Halberdleaf rosemallow, Halberdleaf hibiscus, Scarlet rose mallow                                 | Perennial           | Shrub            | Sun, Part-shade        | Moist      |
| <i>Hilaria belangeri</i> var. <i>belangeri</i>             | Curly-mesquite                                                                                    | Perennial           | Grass/Grass-like | Sun                    | Dry        |
| <i>Ilex decidua</i>                                        | Possumhaw, Possumhaw Holly, Deciduous Holly, Winterberry, Deciduous yaupon                        | Perennial           | Shrub            | Sun, Part-shade        | Moist      |
| <i>Ilex vomitoria</i>                                      | Yaupon, Yaupon holly, Cassina                                                                     | Perennial           | Shrub, Tree      | Sun, Shade, Part-shade | Moist, Dry |
| <i>Juglans nigra</i>                                       | Black walnut, Eastern black walnut                                                                | Perennial           | Tree             | Sun, Part-shade        | Moist      |
| <i>Juniperus ashei</i>                                     | Ashe juniper, Ashe's juniper, Mountain cedar, Blueberry juniper                                   | Perennial           | Tree             | Part-shade             | Dry        |
| <i>Juniperus virginiana</i>                                | Eastern red cedar, Eastern redcedar, Virginia juniper                                             | Perennial           | Tree             | Sun, Shade, Part-shade | Dry        |
| <i>Lantana urticoides</i>                                  | Texas lantana, Calico bush, West Indian shrub-verbena                                             | Perennial           | Shrub            | Sun                    | Dry        |
| <i>Leptochloa dubia</i>                                    | Green sprangletop                                                                                 | Perennial           | Grass/Grass-like | Part-shade             | Dry        |
| <i>Liatris elegans</i>                                     | Blazing star, Gay feather, Pink-scale gayfeather, Pinkscale blazing star                          | Perennial           | Herb             | Sun                    | Dry        |
| <i>Liatris mucronata</i>                                   | Cusp gayfeather, Gayfeather, Blazing star, Narrow-leaf gayfeather, Texas                          | Perennial           | Herb             | Sun                    | Dry        |

|                                                    |                                                                                                                                   |           |                  |                                  |               |
|----------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|-----------|------------------|----------------------------------|---------------|
|                                                    | gayfeather, Cusp blazing star                                                                                                     |           |                  |                                  |               |
| <i>Lobelia cardinalis</i>                          | Cardinal flower                                                                                                                   | Perennial | Herb             | Sun,<br>Shade,<br>Part-<br>shade | Wet,<br>Moist |
| <i>Lonicera albiflora</i>                          | Western white honeysuckle, Texas honeysuckle, White honeysuckle, White shrub honeysuckle, White limestone honeysuckle             | Perennial | Vine             | Sun,<br>Part-<br>shade           | Moist,<br>Dry |
| <i>Lonicera sempervirens</i>                       | Coral honeysuckle, Trumpet honeysuckle, Woodbine                                                                                  | Perennial | Vine             | Sun,<br>Part-<br>shade           | Moist         |
| <i>Lupinus texensis</i>                            | Texas bluebonnet, Bluebonnet, Texas lupine, Buffalo clover, Wolf-flower                                                           | Annual    | Herb             | Sun                              | Dry           |
| <i>Machaeranthera tanacetifolia</i>                | Tanseyleaf tansyaster, Tahoka Daisy, Tansy Aster                                                                                  | Annual    | Herb             | Sun,<br>Part-<br>shade           | Dry           |
| <i>Mahonia swaseyi</i>                             | Texas barberry, Texas Oregon-grape                                                                                                | Perennial | Shrub            | Sun                              |               |
| <i>Mahonia trifoliolata</i>                        | Agarita, Agarito, Algerita, Laredo mahonia, Laredo Oregon-grape, Trifoliate barberry                                              | Perennial | Shrub            | Sun,<br>Part-<br>shade           | Moist,<br>Dry |
| <i>Melampodium leucanthum</i>                      | Blackfoot Daisy, Rock daisy, Plains blackfoot                                                                                     | Perennial | Herb             | Sun,<br>Part-<br>shade           | Dry           |
| <i>Monarda citriodora</i>                          | Lemon beebalm, Horsemint, Purple horsemint, Lemon mint, Plains horsemint, Lemon horsemint                                         | Annual    | Herb             | Sun,<br>Part-<br>shade           | Dry           |
| <i>Muhlenbergia lindheimeri</i>                    | Lindheimer's muhly, Big muhly, Lindheimer muhly                                                                                   | Perennial | Grass/Grass-like | Sun                              | Moist,<br>Dry |
| <i>Muhlenbergia reverchonii</i>                    | Seep muhly                                                                                                                        | Perennial | Grass/Grass-like | Sun                              | Moist,<br>Dry |
| <i>Oenothera macrocarpa</i> ssp. <i>macrocarpa</i> | Bigfruit evening-primrose, Fluttermill, Missouri evening primrose                                                                 | Perennial | Herb             | Sun,<br>Part-<br>shade           | Dry           |
| <i>Oenothera speciosa</i>                          | Pink evening primrose, Showy evening primrose, Mexican evening primrose, Showy primrose, Pink ladies, Buttercups, Pink buttercups | Perennial | Herb             | Sun                              | Moist,<br>Dry |
| <i>Palafoxia callosa</i>                           | Small palafox, Small palafoxia                                                                                                    | Annual    | Herb             | Sun                              | Dry           |
| <i>Panicum virgatum</i>                            | Switchgrass, Wand panic grass                                                                                                     | Perennial | Grass/Grass-like | Sun,<br>Part-<br>shade           | Moist,<br>Dry |
| <i>Parthenocissus quinquefolia</i>                 | Virginia creeper                                                                                                                  | Perennial | Vine             | Sun,<br>Shade,<br>Part-<br>shade | Moist         |
| <i>Passiflora incarnata</i>                        | Purple passionflower, Purple passion vine, Maypop, Apricot vine                                                                   | Perennial | Vine             | Sun,<br>Part-                    | Moist,<br>Dry |

|                              |                                                                                                                                                                   |           |                  |                        |                 |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|------------------|------------------------|-----------------|
|                              |                                                                                                                                                                   |           |                  | shade                  |                 |
| <i>Penstemon cobraea</i>     | Wild foxglove, Prairie penstemon, Foxglove penstemon, False foxglove, Large-flowered beardtongue, Large-flowered penstemon, Prairie beardtongue, Cobaea penstemon | Perennial | Herb             | Sun, Part-shade        | Dry             |
| <i>Phlox drummondii</i>      | Annual phlox, Phlox, Drummond phlox                                                                                                                               | Annual    | Herb             | Sun, Part-shade        | Dry             |
| <i>Physostegia pulchella</i> | Beautiful false dragon-head, Showy false dragonhead                                                                                                               | Perennial | Herb             | Part-shade             | Moist           |
| <i>Platanus occidentalis</i> | American sycamore, Buttonwood, Plane-tree, Sycamore                                                                                                               | Perennial | Tree             | Sun, Shade, Part-shade | Moist           |
| <i>Poa arachnifera</i>       | Texas bluegrass, Texas blue grass                                                                                                                                 | Perennial | Grass/Grass-like | Sun, Part-shade        | Moist           |
| <i>Prosopis glandulosa</i>   | Honey mesquite                                                                                                                                                    | Perennial | Tree             | Sun                    | Dry             |
| <i>Prunus mexicana</i>       | Mexican plum, Bigtree plum                                                                                                                                        | Perennial | Tree             | Sun, Part-shade        | Moist, Dry      |
| <i>Quercus fusiformis</i>    | Escarpment live oak, Plateau live oak, Texas live oak, Scrub live oak, Hill country live oak, Plateau oak                                                         | Perennial | Tree             | Sun, Part-shade        | Dry             |
| <i>Quercus macrocarpa</i>    | Bur oak, Burr oak, Savannah oak, Overcup oak, Prairie oak, Mossy-cup oak, Mossy-overcup oak, Blue oak                                                             | Perennial | Tree             | Sun, Shade, Part-shade | Wet, Moist, Dry |
| <i>Quercus marilandica</i>   | Blackjack oak, Barren oak, Black oak, Jack oak                                                                                                                    | Perennial | Tree             | Part-shade             | Dry             |
| <i>Quercus muehlenbergii</i> | Chinkapin oak, Chinquapin oak, Chestnut oak, Yellow chestnut oak, Yellow oak, Rock chestnut oak, Rock oak                                                         | Perennial | Tree             | Sun, Part-shade        | Dry             |
| <i>Quercus shumardii</i>     | Shumard oak, Shumard's oak, Shumard red oak, Southern red oak                                                                                                     | Perennial | Tree             | Sun, Part-shade        | Moist, Dry      |
| <i>Quercus stellata</i>      | Post oak                                                                                                                                                          | Perennial | Tree             | Part-shade             | Dry             |
| <i>Quercus texana</i>        | Nuttall Oak, Texas red oak, Texas oak, Spanish oak, Rock oak                                                                                                      | Perennial | Tree             | Part-shade             |                 |
| <i>Ratibida columnifera</i>  | Mexican hat, Prairie coneflower, Upright prairie coneflower, Red-spike mexican-hat, Long-headed coneflower, Thimbleflower                                         | Perennial | Herb             | Sun                    | Moist, Dry      |
| <i>Rhus aromatica</i>        | Fragrant sumac, Aromatic sumac, Lemon sumac, Polecat bush                                                                                                         | Perennial | Shrub            | Sun, Shade, Part-      | Moist, Dry      |

|                                                     |                                                                                          |           |                  |                        |            |
|-----------------------------------------------------|------------------------------------------------------------------------------------------|-----------|------------------|------------------------|------------|
|                                                     |                                                                                          |           |                  | shade                  |            |
| <i>Rhus lanceolata</i>                              | Prairie flameleaf sumac, Flame-leaf sumac, Prairie sumac, Lance-leaf sumac               | Perennial | Tree             | Sun                    | Dry        |
| <i>Rudbeckia hirta</i>                              | Black-eyed Susan, Common black-eyed Susan, Brown-eyed Susan                              | Annual    | Herb             | Sun, Shade, Part-shade | Moist, Dry |
| <i>Salvia azurea</i>                                | Pitcher sage, Big blue sage, Azure sage, Giant blue sage, Blue sage                      | Perennial | Herb             | Part-shade             | Dry        |
| <i>Salvia farinacea</i>                             | Mealy blue sage, Mealy sage, Mealycup sage                                               | Perennial | Herb             | Sun                    | Moist      |
| <i>Salvia greggii</i>                               | Autumn sage, Cherry sage, Gregg salvia                                                   | Perennial | Shrub            | Sun                    | Dry        |
| <i>Salvia regla</i>                                 | Mountain sage, Royal sage                                                                | Perennial | Shrub            | Shade, Part-shade      | Dry        |
| <i>Salvia roemeriana</i>                            | Cedar sage                                                                               | Perennial | Herb             | Part-shade             | Dry        |
| <i>Sapindus saponaria</i><br>var. <i>drummondii</i> | Western soapberry, Soapberry                                                             | Perennial | Tree             | Sun, Part-shade        | Moist, Dry |
| <i>Schizachyrium scoparium</i>                      | Little bluestem                                                                          | Perennial | Grass/Grass-like | Sun, Part-shade        | Dry        |
| <i>Sorghastrum nutans</i>                           | Indiangrass, Yellow indian grass                                                         | Perennial | Grass/Grass-like | Sun, Shade, Part-shade | Moist, Dry |
| <i>Styphnolobium affine</i>                         | Eve's necklace, Eve's necklacedod, Texas sophora                                         | Perennial | Tree             | Part-shade             | Dry        |
| <i>Taxodium distichum</i>                           | Bald cypress, Baldcypress, Common bald cypress, Southern bald cypress, Deciduous cypress | Perennial | Tree             | Sun, Part-shade        | Moist      |
| <i>Thelesperma filifolium</i>                       | Stiff greenthread, Greenthread                                                           | Annual    | Herb             | Sun                    | Dry        |
| <i>Tradescantia occidentalis</i>                    | Prairie spiderwort, Western Spiderwort, Spiderwort                                       | Perennial | Herb             | Sun, Part-shade        | Dry        |
| <i>Tripsacum dactyloides</i>                        | Eastern gamagrass                                                                        | Perennial | Grass/Grass-like | Part-shade             | Moist      |
| <i>Ulmus americana</i>                              | American elm, White elm                                                                  | Perennial | Tree             | Sun, Part-shade        | Moist      |
| <i>Ulmus crassifolia</i>                            | Cedar elm, Fall elm, Olmo                                                                | Perennial | Tree             | Part-shade             | Moist      |
| <i>Ungnadia speciosa</i>                            | Mexican buckeye                                                                          | Perennial | Tree             | Sun, Part-             | Dry        |

|                           |                                                                            |           |                  |                 |            |
|---------------------------|----------------------------------------------------------------------------|-----------|------------------|-----------------|------------|
|                           |                                                                            |           |                  | shade           |            |
| <i>Vernonia baldwinii</i> | Baldwin's ironweed, Western Ironweed, Ironweed                             | Perennial | Herb             | Sun             | Moist      |
| <i>Viburnum rufidulum</i> | Rusty blackhaw viburnum, Rusty blackhaw, Southern blackhaw, Downy viburnum | Perennial | Tree             | Part-shade      | Dry        |
| <i>Wedelia texana</i>     | Zexmenia, Orange zexmenia, Wedelia, Hairy wedelia, Texas creeping-oxeye    | Perennial | Herb             | Sun, Part-shade | Moist, Dry |
| <i>Yucca rupicola</i>     | Twistleaf yucca, Twisted-leaf yucca, Texas yucca                           | Perennial | Cactus/Succulent | Sun, Part-shade | Dry        |

The following plants are recommended by the Texas Parks & Wildlife Department for Tarrant County (excepting southeastern Tarrant County).

| Common Name                             | Scientific Name                      | Erosion Index | Wildlife Index |
|-----------------------------------------|--------------------------------------|---------------|----------------|
| BLACKBERRIES-DEWBERRIES                 | RUBUS SPP.                           | EXCELLENT     | EXCELLENT      |
| PARTRIDGE PEA (PRAIRIE SENNA)           | CHAMAECRISTA FASCICULATA             | EXCELLENT     | GOOD           |
| MAXIMILLIAN SUNFLOWER                   | HELIANTHUS MAXIMILIANI               | EXCELLENT     | GOOD           |
| VINE-MESQUITE                           | PANICUM OBTUSUM                      | EXCELLENT     | GOOD           |
| YELLOW INDIANGRASS                      | SORGHASTRUM NUTANS                   | EXCELLENT     | EXCELLENT      |
| PRAIRIE CORDGRASS                       | SPARTINA PECTINATA                   | EXCELLENT     | EXCELLENT      |
| AMERICAN ELDERBERRY                     | SAMBUCUS CANADENSIS                  | EXCELLENT     | GOOD           |
| SWITCHGRASS                             | PANICUM VIRGATUM                     | EXCELLENT     | EXCELLENT      |
| ILLINOIS BUNDLE FLOWER (PRAIRIE MIMOSA) | DESMANTHUS ILLINOENSIS               | EXCELLENT     | EXCELLENT      |
| CHICKASAW PLUM                          | PRUNUS ANGUSTIFOLIA                  | EXCELLENT     | EXCELLENT      |
| BIG BLUESTEM                            | ANDROPOGON GERARDII                  | EXCELLENT     | GOOD           |
| SIDEOATS GRAMA                          | BOUTELOUA CURTIPENDULA               | EXCELLENT     | GOOD           |
| COMMON REED                             | PHRAGMITES AUSTRALIS                 | EXCELLENT     | GOOD           |
| ASHE JUNIPER                            | JUNIPERUS ASHEI                      | EXCELLENT     | GOOD           |
| COTTONWOOD                              | POPULUS DELTOIDES                    | EXCELLENT     | GOOD           |
| COMMON CURLYMESQUITE                    | HILARIA BERLANGERI                   | EXCELLENT     | GOOD           |
| COFFEE BEAN                             | SESBANIA MACROCARPA                  | EXCELLENT     | EXCELLENT      |
| FRAGRANT SUMAC                          | RHUS AROMATICA                       | EXCELLENT     | EXCELLENT      |
| VIRGINIA CREEPER                        | PARTHENOCISSUS QUINQUEFOLIA          | EXCELLENT     | GOOD           |
| BROOMSEDGE BLUESTEM                     | ANDROPOGON VIRGINICUS                | EXCELLENT     | GOOD           |
| SOFTSTEM BULRUSH                        | SCIRPUS TABERNAEMONTANI (S. VALIDUS) | EXCELLENT     | GOOD           |
| SALTMARSH BULRUSH                       | SCIRPUS MARITIMUS                    | EXCELLENT     | GOOD           |

|                                                |                                          |           |           |
|------------------------------------------------|------------------------------------------|-----------|-----------|
| WINGED ELM                                     | ULMUS ALATA                              | EXCELLENT | GOOD      |
| DELTA ARROWHEAD                                | SAGITTARIA PLATYPHYLLA                   | EXCELLENT | GOOD      |
| WATER SMARTWEED                                | POLYGONUM AMPHIBIUM                      | EXCELLENT | EXCELLENT |
| PENNSYLVANIA SMARTWEED                         | POLYGONUM<br>PENSYLVANICUM               | EXCELLENT | EXCELLENT |
| CORALBERRY                                     | SYMPHORICARPOS<br>ORBICULATUS            | EXCELLENT | EXCELLENT |
| LONG-LEAF PONDWEED                             | POTAMOGETON NODOSUS                      | EXCELLENT | GOOD      |
| ROUND HEAD BUSHCLOVER<br>(ROUNDHEAD LESPEDEZA) | LESPEDEZA CAPITATA                       | EXCELLENT | GOOD      |
| DOTTED SMARTWEED                               | POLYGONUM PUNCTATUM                      | EXCELLENT | GOOD      |
| TRUMPET HONEYSUCKLE                            | LONICERA SEMPERVIRENS                    | EXCELLENT | GOOD      |
| LEAFY PONDWEED                                 | POTAMOGETON FOLIOSUS                     | EXCELLENT | GOOD      |
| GIANT CANE                                     | ARUNDINARIA GIGANTEA                     | EXCELLENT | GOOD      |
| WESTERN WHEATGRASS                             | ELYTRIGIA SMITHII<br>(AGROPYRON SMITHII) | EXCELLENT | GOOD      |
| LITTLE BLUESTEM                                | SCHIZACHYRIUM SCOPARIUM                  | EXCELLENT | GOOD      |
| COMMON TRUMPET-CREEPER                         | CAMPSIS RADICANS                         | EXCELLENT | GOOD      |
| SAND DROPSEED                                  | SPOROBOLUS CRYPTANDRUS                   | EXCELLENT | GOOD      |
| PURPLETOP                                      | TRIDENS FLAUUS                           | EXCELLENT | GOOD      |
| BLACK WILLOW                                   | SALIX NIGRA                              | EXCELLENT | FAIR      |
| WESTERN INDIGO (SCARLET PEA)                   | INDIGOFERA MINIATA                       | EXCELLENT | FAIR      |
| PECAN                                          | CARYA ILLINOENSIS                        | EXCELLENT | EXCELLENT |
| DOWNY VIBURNUM (RUSTY<br>BLACKHAW)             | VIBURNUM RUFIDULUM                       | EXCELLENT | EXCELLENT |
| RIVERBANK GRAPE                                | VITIS RIPARIA                            | EXCELLENT | EXCELLENT |
| CROTON, SPP.                                   | CROTON, SPP.                             | EXCELLENT | EXCELLENT |
| AMERICAN BEAUTYBERRY                           | CALLICARPA AMERICANA                     | EXCELLENT | EXCELLENT |
| TEXAS PERSIMMON                                | DIOSPYROS TEXANA                         | EXCELLENT | GOOD      |
| MUSTANG GRAPE                                  | VITIS MUSTANGENSIS                       | EXCELLENT | GOOD      |
| FARKLEBERRY (TREE<br>HUCKLEBERRY)              | VACCINIUM ARBOREUM                       | EXCELLENT | GOOD      |
| RED MULBERRY                                   | MORUS RUBRA                              | EXCELLENT | GOOD      |
| TEXAS MULBERRY                                 | MORUS MICROPHYLLA                        | EXCELLENT | GOOD      |
| BROADLEAF WOODOATS                             | CHASMANTHIUM LATIFOLIUM                  | EXCELLENT | GOOD      |
| PINCHOT JUNIPER (REDBERRY<br>JUNIPER)          | JUNIPERUS PINCHOTII                      | EXCELLENT | GOOD      |
| BLUE GRAMA                                     | BOUTELOUA GRACILIS                       | EXCELLENT | GOOD      |
| GREEN ASH (RED ASH)                            | FRAXINUS PENNSYLVANICA                   | EXCELLENT | GOOD      |
| BLACK WALNUT                                   | JUGLANS NIGRA                            | EXCELLENT | GOOD      |
| GREEN SPRANGLETOP                              | LEPTOCHLOA DUBIA                         | EXCELLENT | GOOD      |
| LITTLE WALNUT (NOGALITO)                       | JUGLANS MICROCARPA                       | EXCELLENT | GOOD      |
| BOXELDER                                       | ACER NEGUNDO                             | EXCELLENT | GOOD      |
| HONEY MESQUITE                                 | PROSOPIS GLANDULOSA VAR.<br>GLANDULOSA   | EXCELLENT | GOOD      |
| BUFFALOGRASS                                   | BUCHLOE DACTYLOIDES                      | EXCELLENT | GOOD      |
| DESERT WILLOW                                  | CHILOPSIS LINEARIS                       | EXCELLENT | FAIR      |

|                                  |                           |      |           |
|----------------------------------|---------------------------|------|-----------|
| COMMON PERSIMMON                 | DIOSPYROS VIRGINIANA      | GOOD | EXCELLENT |
| LOTEBUSH                         | ZIZYPHUS OBTUSIFOLIA      | GOOD | GOOD      |
| POSSUM-HAW (DECIDUOUS HOLLY)     | ILEX DECIDUA              | GOOD | GOOD      |
| EASTERN GAMAGRASS                | TRIPSACUM DACTYLOIDES     | GOOD | GOOD      |
| CAROLINA BUCKTHORN               | RHAMNUS CAROLINIANA       | GOOD | GOOD      |
| OSAGE ORANGE (BOIS D'ARC)        | MACLURA POMIFERA          | GOOD | GOOD      |
| SESSILELEAF TICKCLOVER           | DESMODIUM SESSILIFOLIUM   | GOOD | GOOD      |
| SMOOTH SUMAC                     | RHUS GLABRA               | GOOD | GOOD      |
| COMMON HONEY LOCUST              | GLEDITSIA TRIACANTHOS     | GOOD | GOOD      |
| TROPIC CROTON                    | CROTON GLANDDULOSUS       | GOOD | FAIR      |
| WOOLLY CROTON                    | CROTON CAPITATUS          | GOOD | FAIR      |
| CURLTOP SMARTWEED (WILLOW-WEED)  | POLYGONUM LAPTHIFOLIUM    | GOOD | FAIR      |
| OKLAHOMA BLACKBERRY              | RUBUS OKLAHOMUS           | GOOD | EXCELLENT |
| SUGAR HACKBERRY (SUGARBERRY)     | CELTIS LAEVIGATA          | GOOD | GOOD      |
| COMMON BUTTONBUSH                | CEPHALANTHUS OCCIDENTALIS | GOOD | GOOD      |
| CANADA WILDRYE                   | ELYMUS CANADENSIS         | GOOD | GOOD      |
| ROUGHLEAF DOGWOOD                | CORNUS DRUMMONDII         | GOOD | GOOD      |
| CHINKAPIN OAK                    | QUERCUS MUHLENBERGII      | GOOD | GOOD      |
| INDIGOBUSH (FALSE INDIGO)        | AMORPHA FRUTICOSA         | GOOD | GOOD      |
| SLENDER LESPEDEZA                | LESPEDEZA VIRGINICA       | GOOD | GOOD      |
| HAIRY GRAMA                      | BOUTELOUA HIRSUTA         | GOOD | GOOD      |
| FROST GRAPE                      | VITIS CORDIFOLIA          | GOOD | GOOD      |
| WHITE ASH                        | FRAXINUS AMERICANA        | GOOD | GOOD      |
| AGARITO                          | MAHONIA TRIFOLIOLATA      | GOOD | GOOD      |
| AMERICAN ELM                     | ULMUS AMERICANA           | GOOD | GOOD      |
| BLACK HICKORY (TEXAS HICKORY)    | CARYA TEXANA              | GOOD | GOOD      |
| SAND LOVEGRASS                   | ERAGROSTIS TRICHODES      | GOOD | GOOD      |
| SLIPPERY ELM                     | ULMUS RUBRA               | GOOD | GOOD      |
| CEDAR ELM                        | ULMUS CRASSIFOLIA         | GOOD | FAIR      |
| BLUE SAGE                        | SALVIA AZUREA             | GOOD | FAIR      |
| SWAMP PRIVET                     | FORESTIERA ACUMINATA      | GOOD | EXCELLENT |
| ALABAMA SUPPLEJACK (RATTAN VINE) | BERCHEMIA SCANDENS        | GOOD | GOOD      |
| VIRGINIA WILDRYE                 | ELYMUS VIRGINICUS         | GOOD | GOOD      |
| YELLOW SWEETCLOVER               | MELILOTUS OFFICINALIS     | GOOD | GOOD      |
| GUM BUMELIA (CHITTAMWOOD)        | BUMELIA LANUGINOSA        | GOOD | GOOD      |
| PURPLE PRAIRIE CLOVER            | DALEA PURPUREA            | GOOD | GOOD      |
| CAROLINA SNAILSEED               | COCCULUS CAROLINUS        | GOOD | GOOD      |
| SEDGES                           | CAREX SPP.                | GOOD | GOOD      |
| GREEN HAWTHORN                   | CRATAEGUS VIRDIS          | GOOD | GOOD      |
| SAW GREENBRIAR                   | SMILAX BONA-NOX           | GOOD | GOOD      |
| EASTERN HOP HORNBEAN             | OSTRYA VIRGINIANA         | GOOD | FAIR      |

|                                             |                          |      |           |
|---------------------------------------------|--------------------------|------|-----------|
| FLORIDA PASPALUM                            | PASPALUM FLORIDANUM      | GOOD | FAIR      |
| REVERCHON HAWTHORN                          | CRATAEGUS REVERCHONI     | GOOD | FAIR      |
| SACAHUISTA (BEARGRASS)                      | NOLINA SPP.              | GOOD | FAIR      |
| MEXICAN PLUM                                | PRUNUS MEXICANA          | GOOD | GOOD      |
| CATCLAW SENSITIVEBRIAR                      | SCHRANKIA NUTTALLI       | GOOD | GOOD      |
| ELBOWBUSH                                   | FORESTIERA PUBESCENS     | GOOD | FAIR      |
| COMMON BEEBUSH<br>(WHITEBRUSH)              | ALOYSIA GRATISSIMA       | GOOD | FAIR      |
| COCKSPUR HAWTHORN                           | CRATAEGUS CRUSGALLI      | GOOD | FAIR      |
| DOWNY HAWTHORN                              | CRATAEGUS MOLLIS         | GOOD | FAIR      |
| TEXAS BLUEBONNET                            | LUPINUS TEXENSIS         | GOOD | FAIR      |
| AMERICAN SYCAMORE                           | PLATANUS OCCIDENTALIS    | GOOD | FAIR      |
| FERN ACACIA (PRAIRIE ACACIA)                | ACACIA ANGUSTISSIMA      | GOOD | FAIR      |
| MEXICAN PRIMROSE                            | OENOTHERA SPECIOSA       | GOOD | LOW       |
| YELLOW NUTGRASS (CHUFA)                     | CYPERUS ESCULENTUS       | GOOD | EXCELLENT |
| WHITE CLOVER                                | TRIFOLIUM REPENS         | GOOD | GOOD      |
| COMMON GREENBRIAR                           | SMILAX ROTUNDIFOLIA      | GOOD | GOOD      |
| INLAND CEANOTHUS (REDROOT)                  | CEANOTHUS HERBACEUS      | GOOD | GOOD      |
| SILVER BLUESTEM                             | BOTHRIOCHLOA LAGUROIDES  | GOOD | FAIR      |
| RICE CUTGRASS                               | LEERSIA ORYZOIDES        | GOOD | FAIR      |
| ENGELMANN DAISY                             | ENGELMANNIA PINNATIFIDA  | GOOD | FAIR      |
| TEXAS SIGNALGRASS (TEXAS<br>MILLET)         | BRACHIARIA TEXANA        | GOOD | FAIR      |
| SKELETONLEAF GOLDEN-EYE                     | VIGUIERA STENOLOBA       | GOOD | FAIR      |
| HEATH ASTER                                 | ASTER ERICOIDES          | GOOD | FAIR      |
| PLAINS COREOPSIS (GOLDEN<br>TICKSEED)       | COREOPSIS TINCTORIA      | GOOD | FAIR      |
| HEARTLEAF AMPELOPSIS                        | AMPELOPSIS CORDATA       | FAIR | GOOD      |
| COMMON RAGWEED                              | AMBROSIA ARTEMISIIFOLIA  | FAIR | GOOD      |
| EASTERN REDBUD                              | CERCIS CANADENSIS        | FAIR | FAIR      |
| SLICK SEED WILDBEAN                         | STROPHOSTYLES LEIOSPERMA | FAIR | FAIR      |
| REDROOT PIGWEED                             | AMARANTHUS RETROFLEXUS   | FAIR | FAIR      |
| UPRIGHT PRAIRIE CONEFLOWER<br>(MEXICAN HAT) | RATIBIDA COLUMINFERA     | FAIR | FAIR      |
| PRAIRIE SUMAC                               | RHUS LANCEOLATA          | FAIR | FAIR      |
| INDIAN BLANKET                              | GAILLARDIA PULCHELLA     | FAIR | FAIR      |
| LITTLE-LEAF SUMAC                           | RHUS MICROPHYLLA         | FAIR | FAIR      |
| COBAEA PENSTEMON<br>(FOXGLOVE)              | PENSTEMON COBAEA         | FAIR | FAIR      |
| LEAVENWORTH ERYNGIUM                        | ERYNGIUM LEAVENWORTHII   | FAIR | FAIR      |
| NETLEAF HACKBERRY                           | CELTIS RETICULATA        | FAIR | GOOD      |
| WESTERN RAGWEED                             | AMBROSIA CUMANENSIS      | FAIR | GOOD      |
| PRAIRIE SUNFLOWER                           | HELIANTHUS PETIOLARIS    | FAIR | GOOD      |
| TRAILING WILDBEAN                           | STROPHOSTYLES HELVOLA    | FAIR | FAIR      |
| SLIMLEAF SCURFPEA (WILD<br>ALFALFA)         | PSORALIDIUM TENUIFLORA   | FAIR | FAIR      |
| VIRGINIA TEPHROSIA (GOAT'S                  | TEPHROSIA VIRGINIANA     | FAIR | FAIR      |

|                                    |                                         |      |      |
|------------------------------------|-----------------------------------------|------|------|
| RUE)                               |                                         |      |      |
| TEXAS SOPHORA (EVE'S NECKLACE)     | SOPHORA AFFINIS                         | FAIR | FAIR |
| EVERGREEN SUMAC                    | RHUS VIRENS                             | FAIR | FAIR |
| GOLDEN CURRANT                     | RIBES AUREUM                            | FAIR | FAIR |
| BEEBALM (WILD BERGAMOT)            | MONARDA FISTULOSA                       | FAIR | LOW  |
| PROSTRATE KNOTWEED                 | POLYGONUM AVICULARE                     | FAIR | FAIR |
| POKEBERRY (POKEWEED)               | PHYTOLACCA AMERICANA                    | FAIR | FAIR |
| TEXAS COLUBRINA                    | COLUBRINA TEXENSIS                      | FAIR | FAIR |
| BARNYARD GRASS                     | ECHINOCHLOA CRUSGALLI<br>VAR. CRUSGALLI | FAIR | GOOD |
| GUAYACAN                           | GUAIAACUM ANGUSTI-FOILIIUM              | FAIR | FAIR |
| COMPASSPLANT                       | SILPHIUM LACINIATUM                     | FAIR | FAIR |
| PURPLE CONEFLOWER                  | ECHINACEA PALLIDA                       | FAIR | FAIR |
| CHOLLA                             | OPUNTIA (MULTIPLE SPECIES)              | FAIR | FAIR |
| PRICKLYPEAR                        | OPUNTIA SPP.                            | FAIR | FAIR |
| AWNLESS BUSH SUNFLOWER             | SIMSIA CALVA                            | FAIR | FAIR |
| LOW RUELLIA (HAIRY WILD-PETUNIA)   | RUELLIA HUMILIS                         | FAIR | FAIR |
| BLACK DALEA                        | DALEA FRUTESCENS                        | FAIR | LOW  |
| COMMON LANTANA                     | LANTANA HORRIDA                         | FAIR | LOW  |
| AUTUMN SAGE                        | SALVIA GREGGII                          | FAIR | LOW  |
| ROUGH BUTTOMWEED (POOR-JOE)        | DIODIA TERES                            | FAIR | FAIR |
| CATCLAW ACACIA                     | ACACIA GREGGII                          | FAIR | FAIR |
| SPIKERUSH                          | ELEOCHARIS SPP.                         | FAIR | LOW  |
| WESTERN SOAPBERRY                  | SAPINDUS SAPONARIA VAR.<br>DRUMMONDII   | FAIR | LOW  |
| BEARDED SPRANGLETOP                | LEPTOCHLOA FASCICULARIS                 | LOW  | FAIR |
| FLATSLEDGE                         | CYPERUS SPP.                            | LOW  | FAIR |
| BUSHY KNOTWEED                     | POLYGONUM RAMOSISSIMUM                  | LOW  | LOW  |
| BEAKRUSH                           | RHYNCHOSPORA SPP.                       | LOW  | LOW  |
| COMMON POOLMAT                     | ZANNICHELLIA PALUSTRIS                  | LOW  | FAIR |
| LANCELEAF GAILLARDIA               | GAILLARDIA AESTIVALIS                   | LOW  | LOW  |
| DUCKWEEDS                          | FAMILY LEMNACEAE                        | LOW  | FAIR |
| KIDNEYWOOD                         | EYSENHARDTIA TEXANA                     | LOW  | LOW  |
| MESCALBEAN (TEXAS MOUNTAIN LAUREL) | SOPHORA SECUNDIFLORA                    | LOW  | LOW  |
| BEGGAR'S TICKS                     | BIDENS LAEVIS                           | LOW  | LOW  |
| SOUTHERN NAIAD                     | NAJAS GUADALUPENSIS                     | LOW  | LOW  |
| MEXICAN BUCKEYE (MONILLA)          | UNGNADIA SPECIOSA                       | LOW  | LOW  |

## APPENDIX C. IRRIGATION

---

- I. *Control by automated irrigation system.* Landscaped areas shall be controlled by an automatically controlled timer, unless the use of the property would otherwise prohibit use of a timer. Irrigation systems shall be installed with a rain shut off sensor.
  - (a) The irrigation system shall be designed so that overspray onto structures, streets, sidewalks, windows, walls, and fences is minimized.
  - (b) High-efficiency irrigation systems, such as (but not limited to) drip or soaker hose systems, are required for non-turf areas.
  - (c) Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be required as close as possible to the point of connection of the water supply to minimize water loss in case of an emergency (such as a main line break) or routine repair.
- II. *Cisterns.* The use of cisterns for rainwater harvesting is permitted.
  - (a) Harvest rainwater shall be used for irrigation only. Piping for rainwater harvesting systems shall be separate from and shall not include any direct connection to any potable water piping or to the city's sanitary sewer system. Cisterns shall not be used to provide potable water. Filter systems are required to remove solids and debris and shall be treated or controlled to prevent mosquito breeding.
  - (b) Cisterns shall be located in the rear yard or side yard and must be screened so as not to be seen from the public street. Screening must meet the screening regulations of this Code.
  - (c) Cisterns shall not exceed ten (10) percent coverage in any required yard. The maximum height of any cistern shall be ten (10) feet.
  - (d) Cisterns shall be located a minimum of eight (8) feet from any side lot line and a minimum of eight (8) feet from any rear lot line.
  - (e) Cisterns shall be made of durable materials sufficient to withstand weight and pressure from water storage and resist leaking or corrosion.
  - (f) Every irrigation outlet shall be permanently identified with an indelibly marked placard stating: "CAUTION: HARVESTED RAINWATER; DO NOT DRINK."
  - (g) Installation and repair of cisterns requires an irrigation permit or plumbing permit, as applicable, from the City of Kennedale. Cisterns larger than 175 square feet require an accessory building permit.
  - (h) Rain barrels with capacity of 100 gallons or less shall not require an irrigation or plumbing permit but shall meet all other requirements of this sub-section.
  - (i) The design, maintenance, and use of rainwater harvesting systems are the responsibility of the individual system owners

## APPENDIX D. IMAGE CREDITS

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All images in this document are courtesy City of Kennedale or Livable Plans & Codes unless otherwise stated below.

Figure 16. Morpho Landscape Architecture

Figure 18. Dsafdy (GFDL or CC-BY-SA-3.0-2.5-2.0-1.0, via Wikimedia Commons)

Figure 19. Xnatedawgx (Own work) [(CC-BY-SA-3.0 or GFDL), via Wikimedia Commons]

Figure 20. Stacalusa (Own work) (Public domain), via Wikimedia Commons

Figure 22. Gary Halvorson, Oregon State Archives

**AN ORDINANCE AMENDING ORDINANCE NO. 40, THE ZONING ORDINANCE OF THE CITY OF KENNEDALE, TEXAS, AS AMENDED, BY AMENDING ARTICLE VI ZONING BY ADDING THE "EC" EMPLOYMENT CENTER DISTRICT; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Kennedale is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

**WHEREAS**, in order to promote the public health, safety and general welfare the City Council desires to adopt the proposed amendment to its city code in order to begin implementing the comprehensive land use plan adopted in March 2012; and

**WHEREAS**, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes, for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

**WHEREAS**, the Planning and Zoning Commission of the City of Kennedale, Texas held a public hearing on October 17, 2013, and the City Council of the City of Kennedale, Texas held a public hearing on November 5, 2013, with respect to the amendments described herein; and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code, Section 17-429 of the Zoning Ordinance, and all other laws dealing with notice, publication, and procedural requirements for the approval of amending Article VI of the Kennedale City Code.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, THAT:**

#### **SECTION 1.**

The Zoning Ordinance of the City of Kennedale, Texas, as amended, is hereby amended by adding the "EC" Employment Center District as shown in Exhibit A, attached to this ordinance.

#### **SECTION 2.**

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Kennedale, Texas (1991), as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

#### **SECTION 3.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clause, or phrase of this Ordinance shall be declared unconstitutional

by the valid judgment or decree of any court of competent jurisdiction such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clause, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause, or phrase.

#### **SECTION 4.**

Any person, firm, or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00). Each day that a violation is permitted to exist shall constitute a separate offense.

#### **SECTION 5.**

All rights and remedies of the City of Kennedale are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

#### **SECTION 6.**

The City Secretary of the City of Kennedale is hereby directed to publish in the official newspaper of the City of Kennedale the caption, penalty clause, publication clause and effective date clause of this ordinance as provided by Section 3.10 of the Charter of the City of Kennedale.

#### **SECTION 7.**

This Ordinance shall be in full force and effect from and after the date of its passage and publication as required by law, and it is so ordained.

**PASSED AND APPROVED ON THIS 5<sup>th</sup> DAY OF NOVEMBER 2013.**

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY SECRETARY

EFFECTIVE: \_\_\_\_\_

APPROVED AS TO FORM AND LEGALITY:

\_\_\_\_\_  
CITY ATTORNEY



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| SCIENTIFIC NAME                                               | COMMON NAME(S)                                                                                                                  | IMAGE GALLERY                                                                                                     |
|---------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| <a href="#"><i>Acer negundo</i></a>                           | Ash-leaf maple<br>Ash-leaved maple<br>Box elder<br>Boxelder<br>Fresno de guajuco                                                | <br><a href="#">19 images</a>  |
| <a href="#"><i>Aesculus glabra</i></a>                        | Ohio buckeye<br>Texas buckeye<br>Fetid buckeye<br>Horse chestnut                                                                | <br><a href="#">23 images</a> |
| <a href="#"><i>Amorpha fruticosa</i></a>                      | Indigo bush<br>False indigo bush<br>False indigo<br>Desert false indigo                                                         | <br><a href="#">18 images</a> |
| <a href="#"><i>Amblyolepis setigera</i></a>                   | Huisache daisy<br>Butterfly daisy<br>Honey daisy                                                                                | <br><a href="#">14 images</a> |
| <a href="#"><i>Andropogon gerardii</i></a>                    | Big bluestem<br>Turkeyfoot                                                                                                      | <br><a href="#">30 images</a> |
| <a href="#"><i>Anisacanthus quadrifidus var. wrightii</i></a> | Flame acanthus<br>Hummingbird bush<br>Wright's desert honeysuckle<br>Wright acanthus<br>Mexican flame<br>Wright's Mexican flame | <br><a href="#">25 images</a> |

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## NARROW YOUR SEARCH

SELECT STATE OR PROVINCE

[Texas](#)

GENERAL APPEARANCE

[All habits](#)

LIFESPAN

[All durations](#)

LIGHT REQUIREMENT

- ☐ Sun - 6 or more hrs  
☐ Part shade - 2 to 6 hrs  
☐ Shade - 2 hrs or less

SOIL MOISTURE

- ☐ Dry - no signs of moisture  
☐ Moist - looks & feels damp  
☐ Wet - saturated

BLOOM TIME

- ☐ Jan ☐ Feb ☐ Mar  
☐ Apr ☐ May ☐ Jun  
☐ Jul ☐ Aug ☐ Sep  
☐ Oct ☐ Nov ☐ Dec

BLOOM COLOR

- ☐ White ☐ Red ☐ Pink  
☐ Orange ☐ Yellow ☐ Green  
☐ Blue ☐ Purple ☐ Violet  
☐ Brown ☐ Black

HEIGHT (IN FEET)

104 Results: [10](#) [25](#) [50](#) [100](#) per page

[<< previous](#) [1](#) [2](#) [next >>](#)

- ☐ 0-1 ☐ 1-3 ☐ 3-6 ☐ 6-12  
☐ 12-36 ☐ 36-72 ☐ 72-100  
☐ More than 100

#### LEAF ARRANGEMENT

- ☐ Alternate  
☐ Opposite  
☐ Whorled  
☐ Fascicled

#### LEAF RETENTION

- ☐ Deciduous  
☐ Evergreen  
☐ Semi-evergreen

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| SCIENTIFIC NAME                           | COMMON NAME(S)                                                                   | IMAGE GALLERY                                                                                                    |
|-------------------------------------------|----------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|
| <a href="#"><i>Vernonia baldwinii</i></a> | Baldwin's ironweed<br>Western Ironweed<br>Ironweed                               | <br><a href="#">38 images</a>  |
| <a href="#"><i>Viburnum rufidulum</i></a> | Rusty blackhaw viburnum<br>Rusty blackhaw<br>Southern blackhaw<br>Downy viburnum | <br><a href="#">23 images</a> |
| <a href="#"><i>Wedelia texana</i></a>     | Zexmenia<br>Orange zexmenia<br>Wedelia<br>Hairy wedelia<br>Texas creeping-oxeye  | <br><a href="#">33 images</a> |
| <a href="#"><i>Yucca rupicola</i></a>     | Twistleaf yucca<br>Twisted-leaf yucca<br>Texas yucca                             | <br><a href="#">13 images</a> |

| SCIENTIFIC NAME | COMMON NAME(S) | IMAGE GALLERY |
|-----------------|----------------|---------------|
|-----------------|----------------|---------------|

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&lt;&lt; previous 1 2 next &gt;&gt;

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- ☐ Dry - no signs of moisture  
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☐ Apr ☐ May ☐ Jun  
☐ Jul ☐ Aug ☐ Sep  
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☐ More than 100

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☐ Opposite  
☐ Whorled  
☐ Fascicled

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☐ Semi-evergreen

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## TEXAS PARKS AND WILDLIFE

## Texas Plant Information Database



331 -- Plant(s) are recommended for your site requirements.

| Common Name                             | Scientific Name                      | Erosion Index | Wildlife Index |
|-----------------------------------------|--------------------------------------|---------------|----------------|
| BLACKBERRIES-DEWBERRIES                 | RUBUS SPP.                           | EXCELLENT     | EXCELLENT      |
| PARTRIDGE PEA (PRAIRIE SENNA)           | CHAMAECRISTA FASCICULATA             | EXCELLENT     | GOOD           |
| MAXIMILLIAN SUNFLOWER                   | HELIANTHUS MAXIMILIANI               | EXCELLENT     | GOOD           |
| VINE-MESQUITE                           | PANICUM OBTUSUM                      | EXCELLENT     | GOOD           |
| YELLOW INDIANGRASS                      | SORGHASTRUM NUTANS                   | EXCELLENT     | EXCELLENT      |
| PRAIRIE CORDGRASS                       | SPARTINA PECTINATA                   | EXCELLENT     | EXCELLENT      |
| PEPPERVINE                              | AMPELOPSIS ARBOREA                   | EXCELLENT     | EXCELLENT      |
| AMERICAN ELDERBERRY                     | SAMBUCUS CANADENSIS                  | EXCELLENT     | GOOD           |
| SWITCHGRASS                             | PANICUM VIRGATUM                     | EXCELLENT     | EXCELLENT      |
| COMMON CHOKECHERRY                      | PRUNUS VIRGINIANA                    | EXCELLENT     | EXCELLENT      |
| HAZEL ALDER                             | ALNUS SERRULATA                      | EXCELLENT     | EXCELLENT      |
| ILLINOIS BUNDLE FLOWER (PRAIRIE MIMOSA) | DESMANTHUS ILLINOENSIS               | EXCELLENT     | EXCELLENT      |
| CHICKASAW PLUM                          | PRUNUS ANGUSTIFOLIA                  | EXCELLENT     | EXCELLENT      |
| SWAMP SMARTWEED                         | POLYGONUM HYDROPIPEROIDES            | EXCELLENT     | GOOD           |
| BIG BLUESTEM                            | ANDROPOGON GERARDII                  | EXCELLENT     | GOOD           |
| SIDEOATS GRAMA                          | BOUTELOUA CURTIPENDULA               | EXCELLENT     | GOOD           |
| COMMON REED                             | PHRAGMITES AUSTRALIS                 | EXCELLENT     | GOOD           |
| ASHE JUNIPER                            | JUNIPERUS ASHEI                      | EXCELLENT     | GOOD           |
| COTTONWOOD                              | POPULUS DELTOIDES                    | EXCELLENT     | GOOD           |
| ALKALI SACATON                          | SPOROBOLUS AIROIDES                  | EXCELLENT     | GOOD           |
| COMMON CURLYMESQUITE                    | HILARIA BERLANGERI                   | EXCELLENT     | GOOD           |
| ALKALI BULRUSH                          | SCIRPUS ROBUSTUS                     | EXCELLENT     | FAIR           |
| COFFEE BEAN                             | SESBANIA MACROCARPA                  | EXCELLENT     | EXCELLENT      |
| FRAGRANT SUMAC                          | RHUS AROMATICA                       | EXCELLENT     | EXCELLENT      |
| HARDSTEM BULRUSH                        | SCIRPUS ACUTUS                       | EXCELLENT     | EXCELLENT      |
| EASTERN RED CEDAR                       | JUNIPERUS VIRGINIANA                 | EXCELLENT     | GOOD           |
| CAT GREENBRIAR                          | SMILAX GLAUCA                        | EXCELLENT     | GOOD           |
| VIRGINIA CREEPER                        | PARTHENOCISSUS QUINQUEFOLIA          | EXCELLENT     | GOOD           |
| BROOMSEDGE BLUESTEM                     | ANDROPOGON VIRGINICUS                | EXCELLENT     | GOOD           |
| SOFTSTEM BULRUSH                        | SCIRPUS TABERNAEMONTANI (S. VALIDUS) | EXCELLENT     | GOOD           |
| SALTMARSH BULRUSH                       | SCIRPUS MARITIMUS                    | EXCELLENT     | GOOD           |
| WINGED ELM                              | ULMUS ALATA                          | EXCELLENT     | GOOD           |
| DELTA ARROWHEAD                         | SAGITTARIA PLATYPHYLLA               | EXCELLENT     | GOOD           |
| OLNEY BULRUSH                           | SCIRPUS AMERICANUS                   | EXCELLENT     | GOOD           |
| MARSHAY CORDGRASS                       | SPARTINA PATENS                      | EXCELLENT     | FAIR           |
| SEASHORE PASPALUM                       | PASPALUM VAGINATUM                   | EXCELLENT     | FAIR           |
| WATER SMARTWEED                         | POLYGONUM AMPHIBIUM                  | EXCELLENT     | EXCELLENT      |
| PENNSYLVANIA SMARTWEED                  | POLYGONUM PENNSYLVANICUM             | EXCELLENT     | EXCELLENT      |
| STOUT SMARTWEED                         | POLYGONUM DENSIFLORUM                | EXCELLENT     | EXCELLENT      |
| LAUREL CHERRY (CAROLINA LAUREL-CHERRY)  | PRUNUS CAROLINIANA                   | EXCELLENT     | EXCELLENT      |

|                                                |                                       |           |           |
|------------------------------------------------|---------------------------------------|-----------|-----------|
| CORALBERRY                                     | SYMPHORICARPOS ORBICULATUS            | EXCELLENT | EXCELLENT |
| ANACUA                                         | EHRETIA ANACUA                        | EXCELLENT | EXCELLENT |
| YAUPON                                         | ILEX VOMITORIA                        | EXCELLENT | EXCELLENT |
| LONG-LEAF PONDWEED                             | POTAMOGETON NODOSUS                   | EXCELLENT | GOOD      |
| SOUTHERN WAX-MYRTLE                            | MYRICA CERIFERA                       | EXCELLENT | GOOD      |
| ROUND HEAD BUSHCLOVER (ROUNDHEAD<br>LESPEDeza) | LESPEDeza CAPITATA                    | EXCELLENT | GOOD      |
| WINTERFAT                                      | CERATOIDES LANATA                     | EXCELLENT | GOOD      |
| DOTTED SMARTWEED                               | POLYGONUM PUNCTATUM                   | EXCELLENT | GOOD      |
| BLACK CHERRY                                   | PRUNUS SEROTINA                       | EXCELLENT | GOOD      |
| TRUMPET HONEYSUCKLE                            | LONICERA SEMPERVIRENS                 | EXCELLENT | GOOD      |
| LEAFY PONDWEED                                 | POTAMOGETON FOLIOSUS                  | EXCELLENT | GOOD      |
| GIANT CANE                                     | ARUNDINARIA GIGANTEA                  | EXCELLENT | GOOD      |
| BLACK GRAMA                                    | BOUTELOUA ERIPODA                     | EXCELLENT | GOOD      |
| WESTERN WHEATGRASS                             | ELYTRIGIA SMITHII (AGROPYRON SMITHII) | EXCELLENT | GOOD      |
| LITTLE BLUESTEM                                | SCHIZACHYRIUM SCOPARIUM               | EXCELLENT | GOOD      |
| COYOTE WILLOW (SANDBAR WILLOW)                 | SALIX EXIGUA                          | EXCELLENT | GOOD      |
| COMMON TRUMPET-CREEPER                         | CAMPIS RADICANS                       | EXCELLENT | GOOD      |
| SAND DROPSEED                                  | SPOROBOLUS CRYPTANDRUS                | EXCELLENT | GOOD      |
| PURPLETOP                                      | TRIDENS FLAUUS                        | EXCELLENT | GOOD      |
| HUISACHE                                       | ACACIA SMALLII                        | EXCELLENT | FAIR      |
| TEXAS EBONY                                    | PITHECELLOBIUM EBANO (P. FLEXICAUL)   | EXCELLENT | FAIR      |
| BLACK WILLOW                                   | SALIX NIGRA                           | EXCELLENT | FAIR      |
| WESTERN INDIGO (SCARLET PEA)                   | INDIGOFERA MINIATA                    | EXCELLENT | FAIR      |
| WATER OAK                                      | QUERCUS NIGRA                         | EXCELLENT | EXCELLENT |
| WHITE OAK                                      | QUERCUS ALBA                          | EXCELLENT | EXCELLENT |
| PECAN                                          | CARYA ILLINOENSIS                     | EXCELLENT | EXCELLENT |
| POSSUM-HAW VIBURNUM                            | VIBURNUM NUDUM                        | EXCELLENT | EXCELLENT |
| DOWNY VIBURNUM (RUSTY BLACKHAW)                | VIBURNUM RUFIDULUM                    | EXCELLENT | EXCELLENT |
| RIVERBANK GRAPE                                | VITIS RIPARIA                         | EXCELLENT | EXCELLENT |
| CROTON, SPP.                                   | CROTON, SPP.                          | EXCELLENT | EXCELLENT |
| AMERICAN BEAUTYBERRY                           | CALICARPA AMERICANA                   | EXCELLENT | EXCELLENT |
| AMERICAN HOLLY                                 | ILEX OPACA                            | EXCELLENT | EXCELLENT |
| TEXAS PERSIMMON                                | DIOSPYROS TEXANA                      | EXCELLENT | GOOD      |
| MUSTANG GRAPE                                  | VITIS MUSTANGENSIS                    | EXCELLENT | GOOD      |
| SASSAFRAS                                      | SASSAFRAS ALBIDUM                     | EXCELLENT | GOOD      |
| BLACKHAW                                       | VIBURNUM PRUNIFOLIUM                  | EXCELLENT | GOOD      |
| FARKLEBERRY (TREE HUCKLEBERRY)                 | VACCINIUM ARBOREUM                    | EXCELLENT | GOOD      |
| RED MULBERRY                                   | MORUS RUBRA                           | EXCELLENT | GOOD      |
| TEXAS MULBERRY                                 | MORUS MICROPHYLLA                     | EXCELLENT | GOOD      |
| BROADLEAF WOODOATS                             | CHASMANTHIUM LATIFOLIUM               | EXCELLENT | GOOD      |
| FLATWOOD PLUM                                  | PRUNUS UMBELLATA                      | EXCELLENT | GOOD      |
| PINCHOT JUNIPER (REDBERRY JUNIPER)             | JUNIPERUS PINCHOTII                   | EXCELLENT | GOOD      |
| BLUE GRAMA                                     | BOUTELOUA GRACILIS                    | EXCELLENT | GOOD      |
| BIG SACATON                                    | SPOROBOLUS WRIGHTII                   | EXCELLENT | GOOD      |
| COMMON PAWPAW                                  | ASIMINA TRILOBA                       | EXCELLENT | GOOD      |
| GREEN ASH (RED ASH)                            | FRAXINUS PENNSYLVANICA                | EXCELLENT | GOOD      |
| BLACK WALNUT                                   | JUGLANS NIGRA                         | EXCELLENT | GOOD      |
| GREEN SPRANGLETOP                              | LEPTOCHLOA DUBIA                      | EXCELLENT | GOOD      |
| HACKBERRY                                      | CELTIS OCCIDENTALIS                   | EXCELLENT | GOOD      |
| LOBLOLLY PINE                                  | PINUS TAEDA                           | EXCELLENT | GOOD      |
| LITTLE WALNUT (NOGALITO)                       | JUGLANS MICROCARPA                    | EXCELLENT | GOOD      |
| BOXELDER                                       | ACER NEGUNDO                          | EXCELLENT | GOOD      |
| HONEY MESQUITE                                 | PROSOPIS GLANDULOSA VAR. GLANDULOSA   | EXCELLENT | GOOD      |
| BUFFALOGRASS                                   | BUCHLOE DACTYLOIDES                   | EXCELLENT | GOOD      |
| LONGLEAF PINE                                  | PINUS PALUSTRIS                       | EXCELLENT | GOOD      |
| STIFFCORNEL (GRAY) DOGWOOD                     | CORNUS FOEMINA                        | EXCELLENT | FAIR      |
| DESERT WILLOW                                  | CHILOPSIS LINEARIS                    | EXCELLENT | FAIR      |

|                                          |                                 |           |           |
|------------------------------------------|---------------------------------|-----------|-----------|
| MARSHMILLET (GIANT CUTGRASS)             | ZIZANIOPSIS MILIACEA            | EXCELLENT | FAIR      |
| FLOWERING DOGWOOD                        | CORNUS FLORIDA                  | GOOD      | EXCELLENT |
| OVERCUP OAK                              | QUERCUS LYRATA                  | GOOD      | EXCELLENT |
| BUR OAK                                  | QUERCUS MACROCARPA              | GOOD      | EXCELLENT |
| SHUMARD OAK                              | QUERCUS SHUMARDII               | GOOD      | EXCELLENT |
| SOUTHERN RED OAK                         | QUERCUS FALCATA                 | GOOD      | EXCELLENT |
| WILLOW OAK                               | QUERCUS PHELLOS                 | GOOD      | EXCELLENT |
| COMMON PERSIMMON                         | DIOSPYROS VIRGINIANA            | GOOD      | EXCELLENT |
| LIVE OAK                                 | QUERCUS VIRGINIA                | GOOD      | GOOD      |
| LOTEBUSH                                 | ZIZYPHUS OBTUSIFOLIA            | GOOD      | GOOD      |
| POSSUM-HAW (DECIDUOUS HOLLY)             | ILEX DECIDUA                    | GOOD      | GOOD      |
| EASTERN GAMAGRASS                        | TRIPSACUM DACTYLOIDES           | GOOD      | GOOD      |
| CAROLINA BUCKTHORN                       | RHAMNUS CAROLINIANA             | GOOD      | GOOD      |
| LEADPLANT                                | AMORPHA CANESCENS               | GOOD      | GOOD      |
| SOUTHERN MAGNOLIA                        | MAGNOLIA GRANDIFLORA            | GOOD      | GOOD      |
| MAPLELEAF VIBURNUM                       | VIBURNUM ACERIFOLIUM            | GOOD      | GOOD      |
| RED MAPLE                                | ACER RUBRUM                     | GOOD      | GOOD      |
| OSAGE ORANGE (BOIS D'ARC)                | MACLURA POMIFERA                | GOOD      | GOOD      |
| FOURWING SALTBUCH                        | ATRIPLEX CANESCENS              | GOOD      | GOOD      |
| SESSILELEAF TICKCLOVER                   | DESMODIUM SESSILIFOLIUM         | GOOD      | GOOD      |
| BALDCYPRESS                              | TAXODIUM DISTICHUM              | GOOD      | GOOD      |
| SOUTHERN ARROWWOOD                       | VIBURNUM DENTATUM               | GOOD      | GOOD      |
| SMOOTH SUMAC                             | RHUS GLABRA                     | GOOD      | GOOD      |
| FLOWERLEAF SUMAC                         | RHUS COPALLINA                  | GOOD      | GOOD      |
| COMMON HONEY LOCUST                      | GLEDITSIA TRIACANTHOS           | GOOD      | GOOD      |
| BLUE WILD INDIGO                         | BAPTISIA AUSTRALIS              | GOOD      | GOOD      |
| TROPIC CROTON                            | CROTON GLANDDULOSUS             | GOOD      | FAIR      |
| WOOLLY CROTON                            | CROTON CAPITATUS                | GOOD      | FAIR      |
| INLAND SALTGRASS                         | DISTICHLIS SPICATA CAR. STRICTA | GOOD      | FAIR      |
| CURLTOP SMARTWEED (WILLOW-WEED)          | POLYGONUM LAPHTHIFOLIUM         | GOOD      | FAIR      |
| BLACKGUM (BLACK TUPELO)                  | NYSSA SYLVATICA                 | GOOD      | EXCELLENT |
| BLUEJACK OAK (SANDJACK OAK)              | QUERCUS INCANA                  | GOOD      | EXCELLENT |
| LAUREL OAK                               | QUERCUS LAURIFOLIA              | GOOD      | EXCELLENT |
| OKLAHOMA BLACKBERRY                      | RUBUS OKLAHOMUS                 | GOOD      | EXCELLENT |
| SUGAR HACKBERRY (SUGARBERRY)             | CELTIS LAEVIGATA                | GOOD      | GOOD      |
| SPINY HACKBERRY (GRANJENO)               | CELTIS PALLIDA                  | GOOD      | GOOD      |
| BLACKJACK OAK                            | QUERCUS MARILANDICA             | GOOD      | GOOD      |
| COMMON BUTTONBUSH                        | CEPHALANTHUS OCCIDENTALIS       | GOOD      | GOOD      |
| CANADA WILDRYE                           | ELYMUS CANADENSIS               | GOOD      | GOOD      |
| POST OAK                                 | QUERCUS STELLATA                | GOOD      | GOOD      |
| AMERICAN BEECH                           | FAGUS GRANDIFOLIA               | GOOD      | GOOD      |
| ROUGHLEAF DOGWOOD                        | CORNUS DRUMMONDII               | GOOD      | GOOD      |
| BLACK OAK                                | QUERCUS VELUTINA                | GOOD      | GOOD      |
| CHINKAPIN OAK                            | QUERCUS MUHLENBERGII            | GOOD      | GOOD      |
| BRASIL                                   | CONDALIA HOOKERI                | GOOD      | GOOD      |
| SWAMP CHESTNUT OAK                       | QUERCUS MICHAUXII               | GOOD      | GOOD      |
| INDIGOBUSH (FALSE INDIGO)                | AMORPHA FRUTICOSA               | GOOD      | GOOD      |
| SLENDER LESPEDEZA                        | LESPEDEZA VIRGINICA             | GOOD      | GOOD      |
| HAIRY GRAMA                              | BOUTELOUA HIRSUTA               | GOOD      | GOOD      |
| FROST GRAPE                              | VITIS CORDIFOLIA                | GOOD      | GOOD      |
| WHITE ASH                                | FRAXINUS AMERICANA              | GOOD      | GOOD      |
| AGARITO                                  | MAHONIA TRIFOLIOLATA            | GOOD      | GOOD      |
| AMERICAN ELM                             | ULMUS AMERICANA                 | GOOD      | GOOD      |
| BROOK EUONYMUS (AMERICAN STRAWBERRYBUSH) | EUONYMUS AMERICANUS             | GOOD      | GOOD      |
| BLACK HICKORY (TEXAS HICKORY)            | CARYA TEXANA                    | GOOD      | GOOD      |
| SAND LOVEGRASS                           | ERAGROSTIS TRICHODES            | GOOD      | GOOD      |
| SLIPPERY ELM                             | ULMUS RUBRA                     | GOOD      | GOOD      |
| HERCULES CLUB (PRICKLYASH)               | ZANTHOXYLUM CLAVA-HERCULIS      | GOOD      | GOOD      |

|                                  |                                     |      |           |
|----------------------------------|-------------------------------------|------|-----------|
| AMERICAN BITTERSWEET             | CELASTRUS SCANDENS                  | GOOD | GOOD      |
| AMERICAN HORNBEAM                | CARPINUS CAROLINIANA                | GOOD | FAIR      |
| SHORTLEAF PINE                   | PINUS ECHINATA                      | GOOD | FAIR      |
| CEDAR ELM                        | ULMUS CRASSIFOLIA                   | GOOD | FAIR      |
| BROWNSEED PASPALUM               | PASPALUM PLICATULUM                 | GOOD | FAIR      |
| COMMON CARPETGRASS               | AXONOPUS AFFINIS                    | GOOD | FAIR      |
| BLUE SAGE                        | SALVIA AZUREA                       | GOOD | FAIR      |
| SWAMP PRIVET                     | FORESTIERA ACUMINATA                | GOOD | EXCELLENT |
| ALABAMA SUPPLEJACK (RATTAN VINE) | BERCHEMIA SCANDENS                  | GOOD | GOOD      |
| VIRGINIA WILDRIE                 | ELYMUS VIRGINICUS                   | GOOD | GOOD      |
| YELLOW SWEETCLOVER               | MELILOTUS OFFICINALIS               | GOOD | GOOD      |
| GUM BUMELIA (CHITTAMWOOD)        | BUMELIA LANUGINOSA                  | GOOD | GOOD      |
| PURPLE PRAIRIE CLOVER            | DALEA PURPUREA                      | GOOD | GOOD      |
| WHITE FRINGETREE                 | CHIONANTHUS VIRGINICA               | GOOD | GOOD      |
| WATER HICKORY                    | CARYA AQUATICA                      | GOOD | GOOD      |
| CAROLINA SNAILSEED               | COCCULUS CAROLINUS                  | GOOD | GOOD      |
| SEDGES                           | CAREX SPP.                          | GOOD | GOOD      |
| FEATHER DALEA                    | DALEA FORMOSA                       | GOOD | GOOD      |
| SWEETGUM                         | LIQUIDAMBAR STYRACIFLUA             | GOOD | GOOD      |
| SAND BLUESTEM                    | ANDROPOGON GERARDII VAR. PAUCIPILUS | GOOD | GOOD      |
| GAMBEL OAK                       | QUERCUS GAMBELII                    | GOOD | GOOD      |
| GREEN HAWTHORN                   | CRATAEGUS VIRDIS                    | GOOD | GOOD      |
| LITTLEHIP HAWTHORN               | CRATAEGUS SPATHULATA                | GOOD | GOOD      |
| PARSLEY HAWTHORN                 | CRATAEGUS MARSHALLII                | GOOD | GOOD      |
| SAW GREENBRIAR                   | SMILAX BONA-NOX                     | GOOD | GOOD      |
| EASTERN HOP HORNBEAN             | OSTRYA VIRGINIANA                   | GOOD | FAIR      |
| FLORIDA PASPALUM                 | PASPALUM FLORIDANUM                 | GOOD | FAIR      |
| CROSSVINE                        | BIGNONIA CAPREOLATA                 | GOOD | FAIR      |
| REVERCHON HAWTHORN               | CRATAEGUS REVERCHONI                | GOOD | FAIR      |
| FALSE MESQUITE                   | CALLIANDRA CONFERTA                 | GOOD | FAIR      |
| TEXAS AZALEA                     | RHODODENDRON OBLONGIFOLIUM          | GOOD | FAIR      |
| MAYHAW (RIVERFLAT HAWTHORN)      | CRATAEGUS OPACA                     | GOOD | FAIR      |
| RIVER BIRCH                      | BETULA NIGRA                        | GOOD | FAIR      |
| BIG-TOOTH MAPLE                  | ACER GRANDIDENTATUM                 | GOOD | FAIR      |
| BLACK-EYED SUSAN                 | RUDBECKIA HIRTA                     | GOOD | FAIR      |
| SACAHUISTA (BEARGRASS)           | NOLINA SPP.                         | GOOD | FAIR      |
| LAUREL GREENBRIAR                | SMILAX LAURIFOLIA                   | GOOD | FAIR      |
| BITTER PANICUM                   | PANICUM AMARUM                      | GOOD | LOW       |
| MEXICAN PLUM                     | PRUNUS MEXICANA                     | GOOD | GOOD      |
| DEVIL'S WALKING STICK            | ARALIA SPINOSA                      | GOOD | GOOD      |
| MOCKERNUT HICKORY                | CARYA ALBA                          | GOOD | GOOD      |
| GUAJILLO                         | ACACIA BERLANDIERI                  | GOOD | GOOD      |
| CATCLAW SENSITIVEBRIAR           | SCHRANKIA NUTTALLI                  | GOOD | GOOD      |
| COMMON SPICEBUSH                 | LINDERA BENZOIN                     | GOOD | GOOD      |
| SHAGBARK HICKORY                 | CARYA OVATA                         | GOOD | GOOD      |
| BITTERNUT HICKORY                | CARYA CORDIFORMIS                   | GOOD | FAIR      |
| ELBOWBUSH                        | FORESTIERA PUBESCENS                | GOOD | FAIR      |
| COMMON BEEBUSH (WHITEBRUSH)      | ALOYSIA GRATISSIMA                  | GOOD | FAIR      |
| COCKSPUR HAWTHORN                | CRATAEGUS CRUSGALLI                 | GOOD | FAIR      |
| DOWNY HAWTHORN                   | CRATAEGUS MOLLIS                    | GOOD | FAIR      |
| TEXAS BLUEBONNET                 | LUPINUS TEXENSIS                    | GOOD | FAIR      |
| MOUNTAIN MAHOGANY                | CERCOCARPUS MONTANUS                | GOOD | FAIR      |
| PARTRIDGEBERRY                   | MITCHELLA REPENS                    | GOOD | FAIR      |
| CAROLINA BASSWOOD (LINDEN TREE)  | TILIA CAROLINIANA                   | GOOD | FAIR      |
| AMERICAN SYCAMORE                | PLATANUS OCCIDENTALIS               | GOOD | FAIR      |
| FERN ACACIA (PRAIRIE ACACIA)     | ACACIA ANGUSTISSIMA                 | GOOD | FAIR      |
| MEXICAN PRIMROSE                 | OENOTHERA SPECIOSA                  | GOOD | LOW       |
| YELLOW NUTGRASS (CHUFA)          | CYPERUS ESCULENTUS                  | GOOD | EXCELLENT |

|                                          |                                 |      |      |
|------------------------------------------|---------------------------------|------|------|
| WHITE CLOVER                             | TRIFOLIUM REPENS                | GOOD | GOOD |
| COMMON GREENBRIAR                        | SMILAX ROTUNDIFOLIA             | GOOD | GOOD |
| SWEET PEPPERBUSH (SUMMERSWEET)           | CLETHRA ALNIFOLIA               | GOOD | GOOD |
| INLAND CEANOTHUS (REDROOT)               | CEANOTHUS HERBACEUS             | GOOD | GOOD |
| VIRGINIA SWEETSPIRE                      | ITEA VIRGINICA                  | GOOD | FAIR |
| RED CLOVER                               | TRIFOLIUM PRATENSE              | GOOD | FAIR |
| SHIN OAK                                 | QUERCUS DURANDII VAR. BREVILOBA | GOOD | FAIR |
| SILVER BLUESTEM                          | BOTHRIOCHLOA LAGUROIDES         | GOOD | FAIR |
| WESTERN YARROW                           | ACHILLEA MILLEFOLIUM            | GOOD | FAIR |
| EMORY OAK                                | QUERCUS EMORYI                  | GOOD | FAIR |
| GRAY OAK                                 | QUERCUS GRISEA                  | GOOD | FAIR |
| RICE CUTGRASS                            | LEERSIA ORYZOIDES               | GOOD | FAIR |
| ENGELMANN DAISY                          | ENGELMANNIA PINNATIFIDA         | GOOD | FAIR |
| FAXON YUCCA                              | YUCCA FAXONIANA                 | GOOD | FAIR |
| SOAPTREE YUCCA                           | YUCCA ELATA                     | GOOD | FAIR |
| THOMPSON YUCCA                           | YUCCA THOMPSONIANA              | GOOD | FAIR |
| TORREY YUCCA (SPANISH DAGGER)            | YUCCA TORREYI                   | GOOD | FAIR |
| TEXAS SIGNALGRASS (TEXAS MILLET)         | BRACHIARIA TEXANA               | GOOD | FAIR |
| ARIZONA WHITE OAK                        | QUERCUS ARIZONICA               | GOOD | FAIR |
| SKELETONLEAF GOLDEN-EYE                  | VIGUIERA STENOLOBA              | GOOD | FAIR |
| HEATH ASTER                              | ASTER ERICOIDES                 | GOOD | FAIR |
| PLAINS COREOPSIS (GOLDEN TICKSEED)       | COREOPSIS TINCTORIA             | GOOD | FAIR |
| TEXAS RED OAK                            | QUERCUS BUCKLEYI                | FAIR | GOOD |
| HEARTLEAF AMPELOPSIS                     | AMPELOPSIS CORDATA              | FAIR | GOOD |
| COMMON RAGWEED                           | AMBROSIA ARTEMISIIFOLIA         | FAIR | GOOD |
| EASTERN REDBUD                           | CERCIS CANADENSIS               | FAIR | FAIR |
| SLICK SEED WILDBEAN                      | STROPHOSTYLES LEIOSPERMA        | FAIR | FAIR |
| ASHE CHINKAPIN                           | CASTANEA PUMILA                 | FAIR | FAIR |
| REDROOT PIGWEED                          | AMARANTHUS RETROFLEXUS          | FAIR | FAIR |
| UPRIGHT PRAIRIE CONEFLOWER (MEXICAN HAT) | RATIBIDA COLUMINFERA            | FAIR | FAIR |
| PRAIRIE SUMAC                            | RHUS LANCEOLATA                 | FAIR | FAIR |
| INDIAN BLANKET                           | GAILLARDIA PULCHELLA            | FAIR | FAIR |
| LITTLE-LEAF SUMAC                        | RHUS MICROPHYLLA                | FAIR | FAIR |
| BEAKED PANICUM                           | PANICUM ANCEPS                  | FAIR | FAIR |
| FALL PANICUM                             | PANICUM DICHOTOMIFLORUM         | FAIR | FAIR |
| RED BAY                                  | PERSEA BORBONIA                 | FAIR | FAIR |
| COBAEA PENSTEMON (FOXGLOVE)              | PENSTEMON COBAEA                | FAIR | FAIR |
| LEAVENWORTH ERYNGIUM                     | ERYNGIUM LEAVENWORTHII          | FAIR | FAIR |
| SOTOL                                    | DASYLIRION SPP.                 | FAIR | FAIR |
| NETLEAF HACKBERRY                        | CELTIS RETICULATA               | FAIR | GOOD |
| WESTERN RAGWEED                          | AMBROSIA CUMANENSIS             | FAIR | GOOD |
| PRAIRIE SUNFLOWER                        | HELIANTHUS PETIOLARIS           | FAIR | GOOD |
| TRAILING WILDBEAN                        | STROPHOSTYLES HELVOLA           | FAIR | FAIR |
| LITTLELEAF LEADTREE                      | LEUCAENA RETUSA                 | FAIR | FAIR |
| SLIMLEAF SCURFPEA (WILD ALFALFA)         | PSORALIDIUM TENUIFLORA          | FAIR | FAIR |
| VIRGINIA TEPHROSIA (GOAT'S RUE)          | TEPHROSIA VIRGINIANA            | FAIR | FAIR |
| TEXAS SOPHORA (EVE'S NECKLACE)           | SOPHORA AFFINIS                 | FAIR | FAIR |
| EVERGREEN SUMAC                          | RHUS VIRENS                     | FAIR | FAIR |
| GOLDEN CURRANT                           | RIBES AUREUM                    | FAIR | FAIR |
| ANACAHUITA (WILD OLIVE)                  | CORDIA BOISSIERI                | FAIR | FAIR |
| NARROWLEAF WOODOATS                      | CHASMANTHIUM SESSILIFLORUM      | FAIR | LOW  |
| BEEBALM (WILD BERGAMOT)                  | MONARDA FISTULOSA               | FAIR | LOW  |
| SCREWBEAN MESQUITE                       | PROSOPIS PUBESCENS              | FAIR | GOOD |
| DWARF PAWPAW                             | ASIMINA PARVIFLORA              | FAIR | GOOD |
| BAYGALL HOLLY                            | ILEX CORIACEA                   | FAIR | FAIR |
| PROSTRATE KNOTWEED                       | POLYGONUM AVICULARE             | FAIR | FAIR |
| WIDGEON GRASS                            | RUPPIA MARITIMA                 | FAIR | FAIR |
| POKEBERRY (POKEWEED)                     | PHYTOLACCA AMERICANA            | FAIR | FAIR |

|                                       |                                           |      |      |
|---------------------------------------|-------------------------------------------|------|------|
| COMMON FROGBIT                        | LIMNOBIUM SPONGIA                         | FAIR | FAIR |
| TEXAS COLUBRINA                       | COLUBRINA TEXENSIS                        | FAIR | FAIR |
| ALLTHORN                              | KOEBERLINIA SPINOSA                       | FAIR | LOW  |
| CAROLINA JESSAMINE                    | GELSEMIUM SEMPERVIRENS                    | FAIR | LOW  |
| BARNYARD GRASS                        | ECHINOCHLOA CRUSGALLI VAR. CRUSGALLI      | FAIR | GOOD |
| JAPANESE MILLET                       | ECHINACHLOA CRUSGALLI VAR.<br>FRUMENTACEA | FAIR | GOOD |
| COMMON SWEETLEAF                      | SYMPLOCOS TINCTORIA                       | FAIR | FAIR |
| GUAYACAN                              | GUAIACUM ANGUSTI-FOILIIUM                 | FAIR | FAIR |
| WATER HONEY LOCUST                    | GLEDITSIA AQUATICA                        | FAIR | FAIR |
| BULL PASPALUM                         | PASPALUM BOSCIANUM                        | FAIR | FAIR |
| COMPASSPLANT                          | SILPHIUM LACINIATUM                       | FAIR | FAIR |
| WATER ELM (PLANER TREE)               | PLANERA AQUATICA                          | FAIR | FAIR |
| CREOSOTEBUSH                          | LARREA TRIDENTATA                         | FAIR | FAIR |
| PURPLE CONEFLOWER                     | ECHINACEA PALLIDA                         | FAIR | FAIR |
| CHOLLA                                | OPUNTIA (MULTIPLE SPECIES)                | FAIR | FAIR |
| PRICKLYPEAR                           | OPUNTIA SPP.                              | FAIR | FAIR |
| BLACKBRUSH                            | ACACIA RIGIDULA                           | FAIR | FAIR |
| AWNLESS BUSH SUNFLOWER                | SIMSA CALVA                               | FAIR | FAIR |
| GREGG ASH                             | FRAXINUS GREGGII                          | FAIR | FAIR |
| CENTURY PLANT                         | AGAVE SPP.                                | FAIR | FAIR |
| TWOWING SILVERBELL                    | HALESIA DIPTERA                           | FAIR | FAIR |
| LOW RUELLIA (HAIRY WILD-PETUNIA)      | RUELLIA HUMILIS                           | FAIR | FAIR |
| BLACK DALEA                           | DALEA FRUTESCENS                          | FAIR | LOW  |
| COMMON LANTANA                        | LANTANA HORRIDA                           | FAIR | LOW  |
| AUTUMN SAGE                           | SALVIA GREGGII                            | FAIR | LOW  |
| BLUE SAGE (MEJORANA)                  | SALVIA BALLOTIFLORA                       | FAIR | LOW  |
| ROUGH BUTTOMWEED (POOR-JOE)           | DIODIA TERES                              | FAIR | FAIR |
| CATCLAW ACACIA                        | ACACIA GREGGII                            | FAIR | FAIR |
| BUTTON SNAKEROOT (RATTLESNAKE MASTER) | ERYNGIUM YUCCIFOLIUM                      | FAIR | FAIR |
| SPIKERUSH                             | ELEOCHARIS SPP.                           | FAIR | LOW  |
| WESTERN SOAPBERRY                     | SAPINDUS SAPONARIA VAR. DRUMMONDII        | FAIR | LOW  |
| DESERT OLIVE (NARROWLEAF FORESTIERA)  | FORESTIERA ANGUSTIFOLIA                   | LOW  | FAIR |
| DESERT YAUPON                         | SCHAEFFERIA CUNEIFOLIA                    | LOW  | FAIR |
| BEARDED SPRANGLETOP                   | LEPTOCHLOA FASCICULARIS                   | LOW  | FAIR |
| FLATSLEDGE                            | CYPERUS SPP.                              | LOW  | FAIR |
| TEXAS PALOVERDE                       | PARKINSONIA TEXANA                        | LOW  | LOW  |
| WATER PASPALUM                        | PASPALUM FLUITANS                         | LOW  | LOW  |
| BUSHY KNOTWEED                        | POLYGONUM RAMOSISSIMUM                    | LOW  | LOW  |
| JAMAICA SAWGRASS                      | CLADIUM JAMAICENSE                        | LOW  | LOW  |
| BEAKRUSH                              | RHYNCHOSPORA SPP.                         | LOW  | LOW  |
| MUSCADINE GRAPE                       | VITIS ROTUNDIFOLIA                        | LOW  | GOOD |
| SUMMER GRAPE                          | VITIS AESTIVALIS                          | LOW  | FAIR |
| COMMON POOLMAT                        | ZANNICHELLIA PALUSTRIS                    | LOW  | FAIR |
| GOATBUSH                              | CASTELA TEXANA                            | LOW  | LOW  |
| LANCELEAF GAILLARDIA                  | GAILLARDIA AESTIVALIS                     | LOW  | LOW  |
| AMERICAN SNOWBELL                     | STYRAX AMERICANA                          | LOW  | LOW  |
| DUCKWEEDS                             | FAMILY LEMNACEAE                          | LOW  | FAIR |
| PURSLANE SESUVIUM                     | SESUVIUM PORTULACASTRUM                   | LOW  | LOW  |
| LIME PRICKLY-ASH                      | ZANTHOXYLUM FAGARA                        | LOW  | LOW  |
| KIDNEYWOOD                            | EYSENHARDTIA TEXANA                       | LOW  | LOW  |
| WATER TUPELO                          | NYSSA AQUATICA                            | LOW  | LOW  |
| DWARF PALMETTO                        | SABAL MINOR                               | LOW  | LOW  |
| SCHREBER WATERSHIELD                  | BRASENIA SCHREBERI                        | LOW  | FAIR |
| SANDPAPER OAK (VASEY OAK)             | QUERCUS PUNGENS                           | LOW  | FAIR |
| MESCALBEAN (TEXAS MOUNTAIN LAUREL)    | SOPHORA SECUNDIFLORA                      | LOW  | LOW  |
| WALTER'S MILLET                       | ECHINOCHLOA WALTERI                       | LOW  | LOW  |
| BEGGAR'S TICKS                        | BIDENS LAEVIS                             | LOW  | LOW  |

|                           |                     |     |     |
|---------------------------|---------------------|-----|-----|
| SOUTHERN NAIAD            | NAJAS GUADALUPENSIS | LOW | LOW |
| MEXICAN BUCKEYE (MONILLA) | UNGNADIA SPECIOSA   | LOW | LOW |
| DESERT MYRTLECROTON       | BERNARDIA OBOVATA   | LOW | LOW |



**Date:** October 17, 2013

**Agenda Item No:** REGULAR ITEMS - C.

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**I. Subject:**

CASE # PZ 13-06 to receive comments and consider approval on a request by the City of Kennedale and the Kennedale Economic Development Corporation for a zoning change and ordinance adopting such change for 20 parcels totaling approximately 5 acres from "C-1" Restricted Commercial District to "EC" Employment Center District for properties located at 1101, 1103, 1105, 1107, 1109, 1111, 1113, 1115, 1117, 1119, 1121, & 1125 W Kennedale Pkwy, and 5409, 5413, 5417, 5421, 5429, 5433, & 5437 High Ridge Rd, with legal description of Oak Crest Addition Block 4 Lots 8, 9, 10A, 11A, 12A, 13A, 14- 18, 19A, 20-26, Tarrant County, Texas. The property in question is owned by the City of Kennedale and the Kennedale Economic Development Corporation.

- A. Staff Presentation
- B. Public Hearing
- C. Staff Response and Summary
- D. Action by the Commission

**II. Originated by:**

Rachel Roberts, City Planner

**III. Summary:**

Case Number: PZ 13-06

Request: Rezone property from C-1 Restricted Commercial to EC Employment Center

Applicant: City of Kennedale

**Overview and Background.**

The City of Kennedale adopted a new comprehensive land use plan in March 2012. The comprehensive plan envisioned a new kind of land use district for the Oak Crest area, with the plan referred to as an Employment Center. Since the plan was adopted, the City developed and adopted a concept plan/master plan for this area. This summer, the City hired a consultant to help develop a new zoning code to begin implementing the concept plan and the ideas set forth in the comprehensive plan. That zoning code will be considered by the Commission under case PZ 13-05. If the code is recommended for approval, the City requests the Commission also consider rezoning certain properties under that code. The properties under consideration are owned by the City of Kennedale and the Kennedale Economic Development Corporation.

**Staff Review.**

*Compliance with comprehensive plan.*

The code was drafted as a step in implementing the comprehensive plan. Because it is, essentially, a result of the comprehensive plan and was developed with the intention of furthering the plan's goals, staff considers this code in compliance with the comprehensive land use plan.

#### *Compliance with other plans.*

The Strategic Plan does not directly address the idea of developing new zoning standards for Oak Crest, but it does recognize the Oak Crest area as being in need of redevelopment and recommends undertaking a study of potential development options for this area. It also recommends taking steps to attract new businesses to Kennedale.

#### *Compliance with City Council goals.*

One of the Council's goals is for Kennedale to be a sustainable, attractive city. The Employment Center code sets a higher standard for building form and site design than our zoning code requires, and development under the Employment Center code is expected to be more attractive than would be expected under the regular zoning code.

In addition, two of the Council's other goals also relate to this case. One goal, Achieve a Thriving Community, calls for providing more options for the community in terms of appropriate, desired businesses, as well as creating an environment where residents will want to live in Kennedale throughout their lives. The Employment Center code relates to this goal by setting standards that make this gateway area more attractive for residents and by establishing predictable development codes that are more attractive to potential businesses. Predictability and attractiveness to potential new businesses also is related to another Council goal, Balance the Tax Burden, which calls for diversifying land uses and attracting and retaining appropriate businesses. And finally, the city is encouraged to make clarity and flexibility available to the business community in the goal Enhance the Business Climate. This goal is addressed also by having a more predictable development code with more authority at the administrative level.

#### **Staff Recommendation.**

The rezoning requested is in compliance with the comprehensive plan and City Council goals. Staff recommends approval of Case PZ 13-06.

#### **Action by the Commission.**

Kennedale City Code sets forth the Commission's role in hearing rezoning cases. The Commission may recommend approval or denial (with or without prejudice).

"The planning and zoning commission, after conducting a hearing on a zoning request, shall report its recommendations on the zoning request to the city council for their consideration. The planning and zoning commission may recommend favorable approval of the request or that the request be denied, with or without prejudice... When the planning and zoning commission recommends that the proposal should be denied, it shall report the same to the city council and the applicant. Furthermore, notwithstanding any provision to the contrary, the planning and zoning commission in considering a rezoning application shall have the authority to consider and recommend approval of any zoning classification set forth in the zoning ordinance having a lesser intensity and being more restrictive than the zoning designation requested by the applicant."

#### **Sample Motions.**

For your reference, sample motions are provided below.

I make a motion to recommend approval of Case PZ 13-06.

I make a motion to recommend approval of Case PZ 13-06, with the following changes ...

I make a motion to recommend denial of Case PZ 13-06 without prejudice.

I make a motion to recommend denial of Case PZ 13-06.

**IV. Notification:**

Notice was published in the *Star-Telegram*, and letters were sent to property owners as required by city code.

**V. Fiscal Impact Summary:**

**VI. Legal Impact:**

**VII. Recommendation:**

Approve

**VIII. Alternative Actions:**

**IX. Attachments:**

|    |                    |                         |
|----|--------------------|-------------------------|
| 1. | PZ 13-06 ordinance | PZ 13-06 ordinance.docx |
| 2. | PZ 13-06 map       | PZ 13-06 map.pdf        |

**AN ORDINANCE AMENDING ORDINANCE NO. 40, AS AMENDED; REZONING PROPERTY WITHIN THE CITY LIMITS OF THE CITY OF KENNEDALE; PROVIDING FOR THE AMENDMENT OF THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING FOR A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the City of Kennedale is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

**WHEREAS**, in order to promote the public health, safety and general welfare the City Council desires to amend the zoning classification of certain properties within the city limits as described below in order to begin implementing the comprehensive land use plan adopted in March 2012; and

**WHEREAS**, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes, for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

**WHEREAS**, the City of Kennedale and the Kennedale Economic Development Corporation, persons or entities having a proprietary interest in certain property being approximately 5 acres located in the David Strickland Survey, Abstract No. 1376, and a part of blocks 43, 55, and 56 of the Shelby County School Lands Tarrant County, Texas, also known as Oak Crest Addition Block 4 Lots 8, 9, 10A, 11A, 12A, 13A, 14-18, 19A, 20-26 according to the deeds recorded in County Clerk's Instrument Numbers D210098119, D213166605, D213143127, D213048705, D213006234, Deed Records, Tarrant County, Texas, have requested to rezone the property from its present classification of "C-1" Restricted Commercial District to "EC" Employment Center District;

**WHEREAS**, the Planning and Zoning Commission of the City of Kennedale, Texas held a public hearing on September 19, 2013, and the City Council of the City of Kennedale, Texas held a public hearing on October 10, 2013, with respect to the amendments described herein; and

**WHEREAS**, all requirements of law dealing with notice to other property owners, publication and all procedural requirements have been complied with in accordance with Chapter 211 of the Local Government Code,

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, THAT:**

**SECTION 1.**

The Comprehensive Zoning Ordinance is hereby amended so that the zoning classification and the uses in the hereinafter described area shall be changed and or restricted as shown and described below:

Approximately 5 acres located in the David Strickland Survey, Abstract No. 1376, and a part of blocks 43, 55, and 56 of the Shelby County School Lands Tarrant County, Texas, also known as Oak Crest Addition Block 4 Lots 8, 9, 10A, 11A, 12A, 13A, 14-18, 19A, 20-26 according to the deed recorded in County Clerk's Instrument Numbers D210098119, D213166605, D213143127, D213048705, D213006234, Deed Records, Tarrant County, Texas, from its present classification of "C-1" Restricted Commercial District to "EC" Employment Center District.

**SECTION 2.**

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Kennedale, Texas (1991), as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

**SECTION 3.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clause, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause, or phrase.

**SECTION 4.**

Any person, firm, or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00). Each day that a violation is permitted to exist shall constitute a separate offense.

**SECTION 5.**

All rights and remedies of the City of Kennedale are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or

not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

**SECTION 6.**

The City Secretary of the City of Kennedale is hereby directed to publish in the official newspaper of the City of Kennedale the caption, penalty clause, publication clause and effective date clause of this ordinance as provided by Section 3.10 of the Charter of the City of Kennedale.

**SECTION 7.**

This Ordinance shall be in full force and effect from and after the date of its passage and publication as required by law, and it is so ordained.

**PASSED AND APPROVED ON THIS 10<sup>th</sup> DAY OF OCTOBER 2013.**

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MAYOR

ATTEST:

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CITY SECRETARY

EFFECTIVE: \_\_\_\_\_

APPROVED AS TO FORM AND LEGALITY:

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CITY ATTORNEY

# Case PZ 13-06 - Site of requested rezoning

